

PLANNING BOARD MEETING
City Hall - 950 Locust St., Carter Lake, Iowa
Monday, August 11, 2025, 7:00 P.M.

AGENDA

Roll Call

Approval of the Agenda

1. Consent Agenda
 - a. Building Permits listing
 - b. City Council Minutes
 - c. Planning Board Minutes
2. New Business
 - a. Overland Property Group
 - i. Preliminary Site Plan and pre-permit approval
3. Old Business
 - a. Non- residential permits – pre-approved
 - i. Casey’s General Store sign update
 - ii. Omaha Indian Tribe – temporary fence
 - b. Planning Board rezoning – workshop
4. Comments
5. Adjourn

PLANNING BOARD MEETING

Monday, July 14, 2025

At 7:00 p.m. Board Chair Ed Palandri called the meeting to order. Roll Call: Present: Ed Palandri, Jay Gundersen, Ray Pauly, Drew Evers, Kathryn Dueling Robert Horan and Tim Podraza are all present along with City Clerk Jackie Carl.

Gundersen moved to approve the agenda seconded by Dueling with the changes; unanimously approved. Podraza moved to approve the consent agenda consisting of building permit listing for May – June, June 16, 2025, council minutes, seconded by Dueling; unanimously approved.

New Business: Consideration of Kwik Shop sign cabinet replacement/resurfacing. Gundersen moved to approve and seconded by Pauly. Unanimously approved.

PalmSHIELD/American Fence Company, under the parent company 10705 S. 147th St. LLC., is applying for a Commercial Construction Permit within the C-1 (Limited Commercial/Office District). The applicant's project site at 300 E. Locust St. has an existing commercial warehouse/manufacturing building currently operating under the use type of "Custom Industry". The applicant is proposing to build a 32,500 sq. ft. addition to the existing warehouse. The proposal also includes a newly paved extension to the existing parking lot and driveway on the south side of the property. Gundersen moved to approve pre-construction permit, seconded by Dueling. Roll Call: No- Pauly, Palandri Yes- Podraza, Dueling, Gundersen, Evers, Horan.

The Landings Reserve – appeared to present preliminary site plan and conceptual support. Gundersen moved to approve, seconded by Evers, unanimously approved

Jason Gundersen appeared to request address numbers for Maggie's addition. Pauly moved to approve, seconded Dueling. Gundersen and Evers abstained. Yes-Pauly, Palandri, Horan, Dueling, Podraza.

Prairie Flower Casino new sign request. Dueling moved to approval, seconded by Gundesen Unanimously approved .

Planning Board rezoning workshop for Tuesday, July 29th at 6:30 p.m.

Podraza moved to adjourn seconded by Pauly. Adjourn at 7:50 p.m.

CARTER LAKE CITY COUNCIL MEETING

Monday, July 21, 2025

Mayor Ronald Cumberledge called the regular meeting to order at 7:00 p.m. Roll call of the council, present: Mayor Ronald Cumberledge, Jacob Hanika, Jackie Wahl, Aaron Grell, Victor Skinner and Jason Gundersen; City Attorney Clint Fichter and Clerk Jackie Carl.

Gundersen moved to approve the agenda, seconded by Grell; unanimously approved. Gundersen moved to approve the consent agenda, by Grell, unanimously approved. Consent agenda includes the following: Department head reports from Parks, Library, Community Center, Senior Services, Maintenance, Police, Fire/EMS; City council minutes; overtime and comp-time reports, abstract of claims, receipts and financial reports for June 2025.

Fire Chief Dave Huey reviewed the pay scales for volunteers; VA transportation, retirement benefit for volunteers and seeking members to join committee to discuss the renovation or new construction for the volunteer fire station.

Mayor Cumberledge asked for volunteer to help review what other communities are doing with animal control? Gundersen will work with attorney to review and suggest changes. City Motors Salvage license on next month's agenda.

Gundersen stated several trees will be cleaned up around town. Location of base of tree determines who is responsible for trimming; Pump stations will be update with new connections for monitoring.

Carter Lake Park Board member Janet was present to discuss liquor license request for Lucky Wife Wine Slushy. Request is denied.

Attorney Fichter provided an email to update on 122 Carter Lake Club. Homeowner has hired an attorney, Inspector Whatcott has permission to do a complete inspection of the inside.

Grell moved to hire the candidate for City Administrator, seconded by Wahl. Unanimously approved.

Skinner moved to approve the pay application to Bluffs Paving for 2,613.00 for the trail project seconded by Gundersen. Unanimously approved.

Gundersen moved to approve the employee wage increases for 2025-2026 budget, seconded by Grell. unanimously approved. Skinner moved to table policy regarding distribution of minutes, seconded by Grell, Roll Call: Yes-Skinner, Wahl, Grell, No-Gundersen.

Adjourn at 7:45 p.m.

Jackie Carl, City Clerk

Ronald Cumberledge, Mayor

FOR OFFICE USE: CASE # _____ Receipt # _____
Z.B.A. Public Hearing: _____ Amount _____

CITY OF CARTER LAKE

APPLICATION FOR PLANNING BOARD AGENDA

1. APPLICANT: Overland Property Group Phone: 785-201-4046
Address: 5345 W. 151st Terrace, Leawood, KS 66224 *Status: O.H.
2. REPRESENTED BY: Elizabeth A. Hunter, PE, AICP Phone: 712-322-3202
Address: 231 Bennett Ave, Council Bluffs, IA 51503 *Status: A
3. STREET ADDRESS/LOCATION: NE Corner of intersection of N. 9th Street & Avenue K
4. LEGAL DESCRIPTION: CARTER LAKE-AUD SUB 21-75-44 LT 5 LTS C, D & E
5. OWNERS NAME: Mikel USA, Inc.
6. OWNERS ADDRESS: 2813 N. 9th Street, Carter Lake, IA 51510
7. REASONS FOR REQUEST AND INTENDED USES: Replatting for development of a Senior Housing Complex
8. ZONING DISTRICT: R-2
9. PRESENT USE: Vacant Grassed Lot
10. COPY OF BLUEPRINTS OF INTENDED STRUCTURE. See Attached In-Progress Plans
11. ADMINISTRATIVE DECISION ISSUED: _____

FOR OFFICE USE

12. ATTACHED TO THE APPLICATION ARE:
- a. Denied "Building Permit Application" Form..... _____
 - b. Approves..... _____
 - c. Restrictions..... _____

THE FACTS PRESENTED ABOVE ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE:

13. SIGNATURE: Elizabeth Hunter Date: 07/29/2025

TYPED OR PRINTED NAME: Elizabeth Hunter *Status: A

*NOTE: P.O. = Property Owner C.P. = Contract Purchaser
O.H. = Legal Optionholder A. = Owner's authorized agent

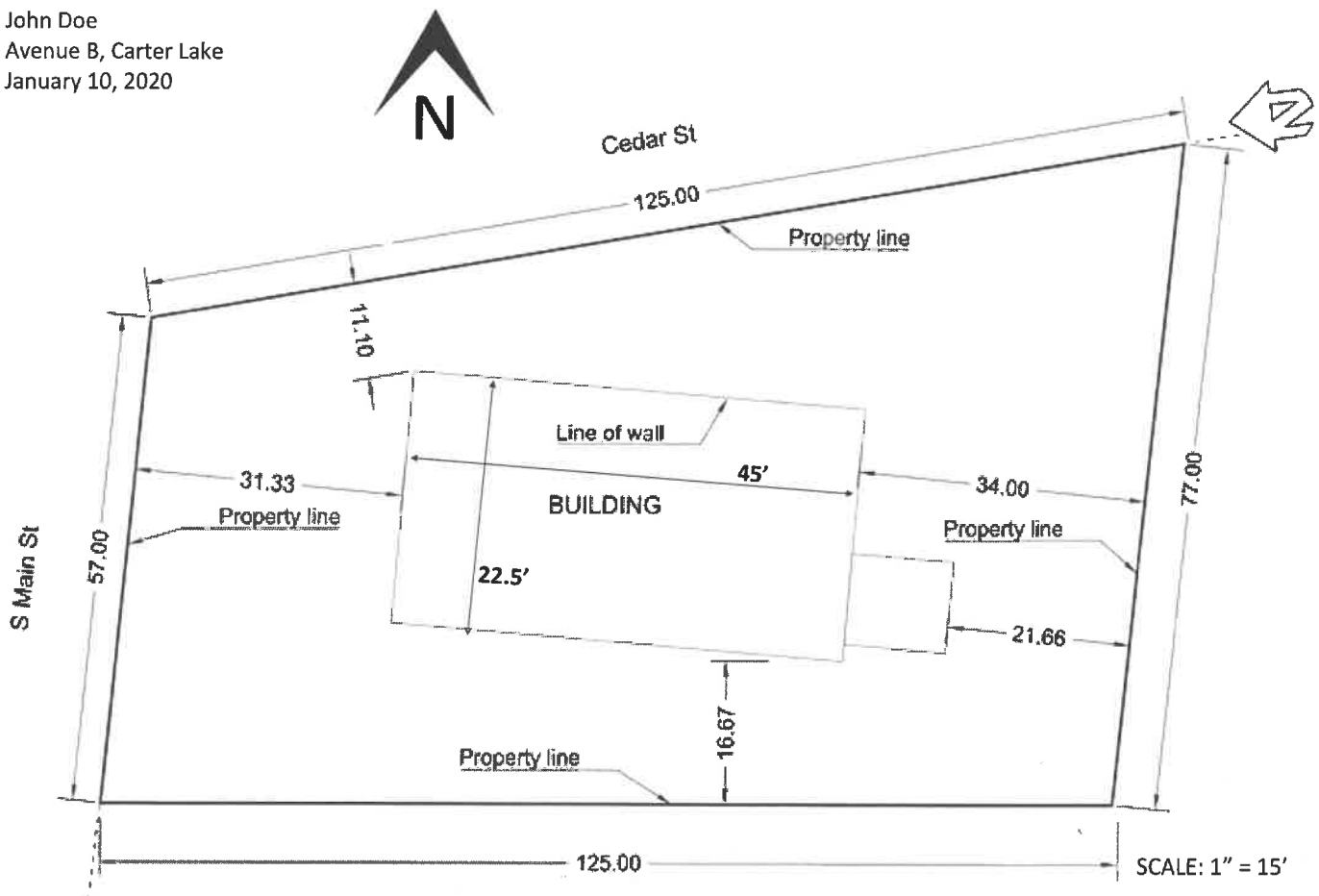
MINIMUM REQUIRED INFORMATION (TO BE SHOWN ON THE SITE PLAN)

The site plan shall be legibly and accurately drawn on paper suitable for reproduction. The plan shall be drawn to a scale of 1 inch to 50 feet or less and should have an overall size of 8 1/2" x 11" or if not possible then a maximum size of 11" x 17" The plan shall contain the following information:

1. The name and address of the person filing the application
2. The date, scale and north arrow
3. Property lines
4. Street, sidewalks and alleys
5. Blueprint proposed structures (copy to be left with the planning board and building inspector)
6. Existing structures within 20 feet of the property
7. Accurate dimensions of the property and all structures involved.

SAMPLE SITE PLAN

John Doe
Avenue B, Carter Lake
January 10, 2020





CITY OF CARTER LAKE
Building & Zoning Department
950 Locust Street
Carter Lake, IA 51510
Telephone: (712) 847-0535
Fax: (712) 347-5454
Inspection Request: (712) 847-0535
<https://www.carterlake-ia.gov>

PLANNING AND ZONING COMMISSION STAFF REPORT

Date: August 6th, 2025

To: City of Carter Lake – Planning Board

From: City Building & Zoning Department

Type of Application: Commercial Multi-Family Residence Construction Permit

Project / Site Address: Parcel #7544 21 101 012 (AUD SUB 21-75-44 LT 5 LTS C, D, & E)

Applicant: Overland Property Group

Project Name: The Residence at Carter Lake (New Senior Living Facility)

Overland Property Group is applying for a Commercial Multi-Family Residence Construction Permit within the R-3 (Urban Residential Multi-Family District). The applicant's project site at parcel number 7544 21 101 012 is currently a vacant grass lot. The project site was approved by the City Council to be re-zoned from R-2 (Urban Residential Mixed Density District) to R-3 (Urban Residential Multi-Family District) as of 06/04/2025. The applicant is proposing to re-plat the area for the development of a new 3-story 54-unit senior living facility. The proposal also includes a newly paved parking lot and three driveways (one off Avenue K and two off N 9th St).

Unified Land Development Ordinance Being Addressed:

166.04 Residential Use Types:

Residential use types include uses providing wholly or primarily non-transient living accommodations. They exclude institutional living arrangements providing 24-hour skilled nursing or medical care, forced residence, or therapeutic settings.

6. Multiple-Family Residential. The use of a site for three or more dwelling units within one building not otherwise defined as townhouse units.

Table 166.26.2:

The Use Matrix table for Residential Use Types states within the R-3 zone; Multi-Family is a permitted use upon site plan approval.

166.29:

Current zoning of the property is R-3 (Urban Residential Multi-Family District). (Re-zoning approved 06/04/2025).

166.29.2 Site Development Regulations for R-3 Districts:

Regulator	Single-Family Detached	Single-Family Attached	Duplex	Townhouse	Multi-Family	Other Permitted Uses
Site Area per Housing Unit (square feet)						
Conventional Development	6,000	6,000	3,000	2,500	2,000	
Planned Development	5,000	5,000	3,000	2,000	1,500	
Minimum Lot Area						
Conventional Development	6,000	5,000	6,000	3,000	10,000	6,000
Planned Developments	4,000	4,000	6,000	2,500	1 Acre	6,000
Minimum Lot Width (feet)						
Conventional Development	60	45	75	35	100	60
Planned Developments	45	40	65	25	150	60
Minimum Yards (feet) (Also See Subsection 5)						
Front Yard	25	25	25	25	30	25
Side Yard on Detached Sides	7*	7*	10*	15*	25	10
Street Side Yard	15	15	15	15	25	15
Rear Yard	25	25	25	25	25	25
Maximum Height	35 feet	35 feet	35 feet	35 feet	35 feet	35 feet
Maximum Building Coverage	55%	55%	55%	55%	55%	45%
Maximum Impervious Coverage	65%	65%	65%	65%	65%	55%
Floor Area Ratio	N/A	N/A	N/A	N/A	0.50	0.50
Maximum Percentage of Total Parking Located in Street Yard	N/A	N/A	N/A	N/A	50%	50%
Minimum Depth of Landscaping Adjacent to Street right-of-way line	20 feet	20 feet	20 feet	20 feet	20 feet	20 feet
*Five feet for one story and five feet for each additional story.						
Setback Requirements Adjacent to R-1 and R-2 Districts – No Requirements						
Setback Requirements Curb vs. No Curb – No Requirements						

166.29.3: Performance Point Requirements. *In order to receive a permit to proceed with development, project must attain a minimum of 30 points, achieved as indicated in the tables in Section 166.46.*

166.29.5 Flexible Yard Setbacks in Planned Districts:

The Planning and Zoning Commission and Council may vary required minimum setback in planned districts. However, the setback from the front façade of a garage to any public or private street right-of-way (including the boundary of sidewalks) must be at least 20 feet.

166.29.6 Additional Requirements:

A. *Parking areas, accessory buildings, and garages must be at least 10 feet from a side or rear lot line. A greater separation from residential zoning districts may be required by Chapter 170.*

B. *No part of a swimming pool, whether temporary or permanent, or its related structure shall be constructed within seven feet of a property line, wall, fence, or other structure which can be readily climbed by a children.*

169.03 Landscaping Depth:

According to the Table in Section 169.03, zoning district R-3 has a required depth of landscaping adjacent to street property lines (row yard) of 20 feet.

169.04.3 Buffer Yard Provisions Table:

It states in Table 169.04.03 that R-3 requires the percent of first 80 feet of street yard that must be landscaped is 20 for multi-family and permitted non-residential uses.

169.06 Parking Lot Landscaping:

1. Landscaping and Screening Requirements. *Unless otherwise noted, each unenclosed parking facility over 6,000 square feet (i.e., 30 or more parking spaces) shall comply with the following regulations:*

A. *Each unenclosed parking facility shall provide a minimum landscaped buffer of 10 feet along any street property line.*

B. *Each parking facility that abuts a residential district shall provide a 10 foot landscaped buffer along its common property line with the residential district.*

C. *Any parking facility which abuts property in a residential district shall provide a fence, wall, landscape screen, or earth berm not less than four feet in height for the length of the common boundary. A grade change, terrace, or other site feature, which blocks the sight line of headlights into a residential property, may satisfy this requirement, subject to the determination of the Building Official.*

D. All unenclosed parking facilities in non-residential and multi-family residential areas shall have curb and gutters around their perimeters as well as their internal landscaping areas (i.e. peninsula or island).

E. Each unenclosed parking facility over 6,000 square feet within any street yard shall provide interior landscaped area equal to no less than 10 percent of the total paved area of the parking facility over and above what is on the street line or residential property line. The interior landscaped area is defined as landscaping within vehicular parking areas, which break up the large expanses of pavement, provides relief from reflected glare and heat, and guides vehicular and pedestrian traffic.

F. Interior landscaping shall be credited toward the satisfaction of overall landscaping requirements set forth in this section.

G. Landscaping or screening installed in any required landscaped area shall not obstruct the view from the off-street parking facility to any driveway approach, street, alley, or sidewalk. Landscaping shall further not obstruct any views among parking spaces and circulation ways, or visibility between vehicles and pedestrians.

101.04 Construction Site Runoff Control.

A developer shall comply with all current minimum mandatory requirements for SWPPPs promulgated by the State Department of Natural Resources in connection with the issuance of a State NPDES General Permit No. 2. Projects less than one acre must consult with Building Official and comply with City guidelines.

101.06 Post Development Runoff Control.

1. All areas within the proposed parcel(s) shall be developed to comply with Statewide Urban Design Standards (SUDAS) and shall manage stormwater quality volume of 1.25 inches by infiltration processes according to the Iowa Stormwater Management Manual.

2. The plan must be designed to prevent the post-development rate of runoff from the subdivision or site plan development from exceeding the predevelopment rate of runoff for a five-year to a 100-year, 24-hour storm as defined by the Iowa Stormwater Management Manual.

3. Adequate overland relief with a proper easement established for storms larger than a 100-year storm as defined by the Iowa Stormwater Management Manual shall be provided.

4. The design is to be completed and signed by a licensed engineer.

101.07 Water Quality Criteria.

1. Post-development runoff shall be captured and treated by water quality best management practices (BMP), as recognized by the SUDAS and the Iowa Stormwater Management Manual, to prevent or minimize

water quality impacts from land development. The applicant shall use the below information to comply with this criterion:

A. Structural and non-structural practices shall be designed to capture and treat the Water Volume (WQv). The WQv shall be computed as specified in the Iowa Stormwater Management Manual.

B. This criterion shall be met using practices from the Stormwater Technology section in the Iowa Stormwater Management Manual. BMPs or combinations of BMPs shall be selected that achieve the highest pollutant load reduction for the pollutants of concern.

2. The design is to be completed and signed by a licensed engineer.

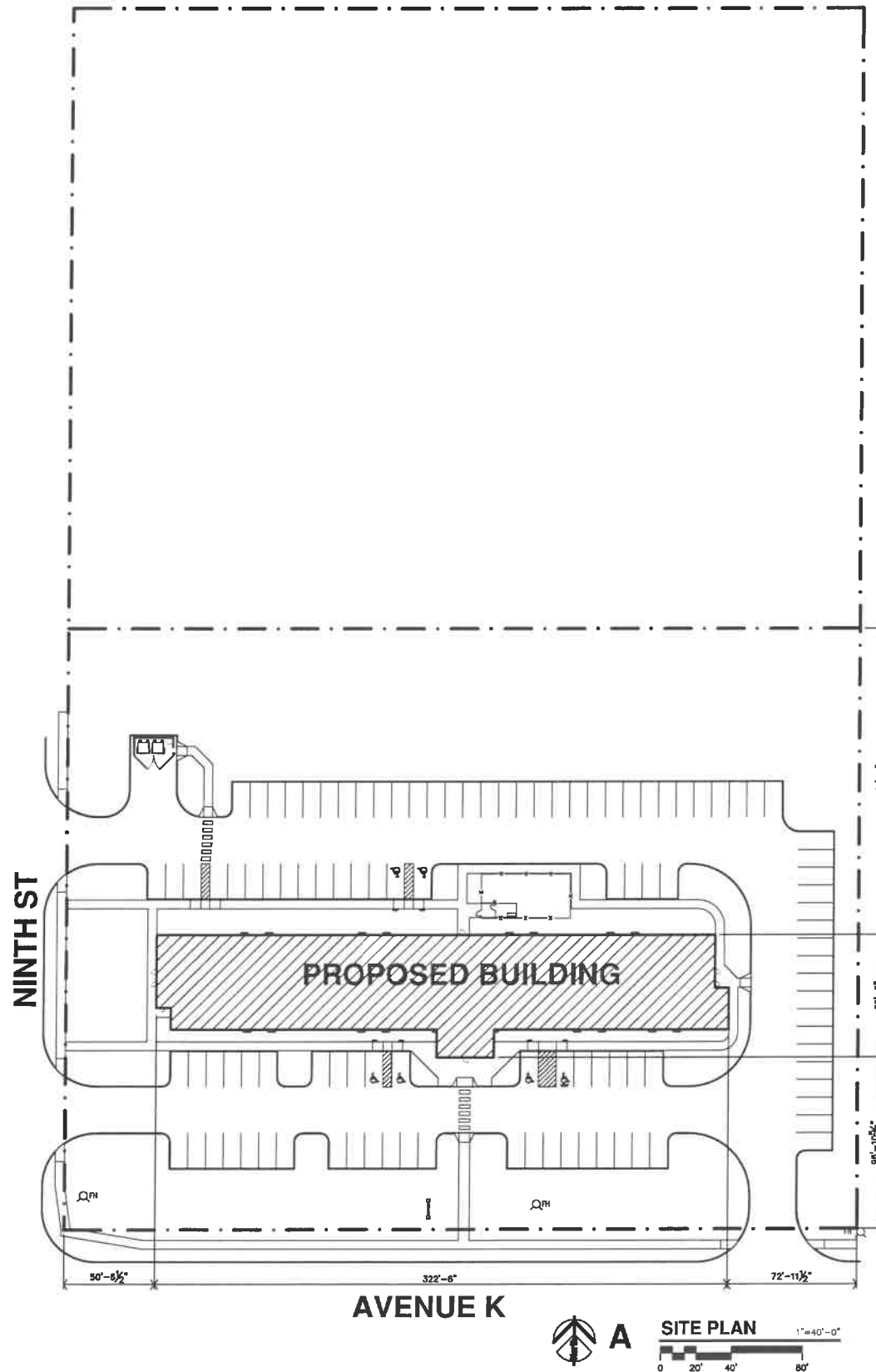
3. The developer and contractor shall provide an adequate means or method for the control of construction waste. The control measure must ensure that solid building materials, chemicals, concrete truck wash out, and sanitary waste are contained and disposed of in an approved manner.

*All of these items will be addressed in detail during the plan review process.

Respectfully,

Darin Whatcott

Darin Whatcott, *RA CBO*
City Building & Zoning Official



PROJECT INFORMATION

TYPE OF CONSTRUCTION: NEW SENIOR LIVING UNITS
 FACILITY NAME: THE RESIDENCE AT CARTER LAKE
 FACILITY ADDRESS: CARTER LAKE, IOWA
 OWNER NAME: OPG CARTER LAKE PARTNERS, LLC
 OWNER ADDRESS: 250 N SANTA FE, STE A, SALINA, KS 67401
 REASON FOR SUBMITTAL: NEW CONSTRUCTION
 COUNTY: POTTAWATTAMIE
 FIRE DEPARTMENT: CARTER LAKE
 WATER SUPPLY: CARTER LAKE
 BUILDING INSPECTION DEPT: CARTER LAKE
 ARCHITECT: JONES GILLAM RENZ ARCHITECTS, INC.
 CODES/REGULATIONS: 2018 INTERNATIONAL BUILDING CODE, 2018 INTERNATIONAL MECHANICAL CODE, 2021 UNIFORM PLUMBING CODE (STATE), 2020 NATIONAL ELECTRICAL CODE (STATE), 2015 INTERNATIONAL FIRE CODE (IFA REQ'D), 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IFA REQ'D), 2010 ADA STANDARDS for ACCESSIBLE DESIGN and FACILITIES, 2009 ICC A117.1 ACCESSIBLE & USABLE BUILDINGS and FACILITIES, FAIR HOUSING ACT DESIGN MANUAL

CODE INFORMATION

OCCUPANCY OVERALL: RESIDENTIAL
 OCCUPANCY GROUPS: R-2 APARTMENTS
 CONSTRUCTION TYPE: V-A
 BASIC ALLOWABLE AREA: R-2 12,000 SF (S13R)
 ALLOWABLE AREA INCREASE: (NON-SEPARATED USES PER IBC SEC. 302.1.2)
 BASE ALLOWABLE: 12,000 SF
 AREA INCREASE (65%): 7,800 SF
 SUB-TOTAL ALLOWABLE (PER FLOOR): 19,800 SF
 3 FLOORS: x3
 TOTAL BUILDING ALLOWABLE AREA: 59,400 SF
 ACTUAL BUILDING AREA:
 FIRST FLOOR: 17,535 SF
 SECOND FLOOR: 17,034 SF
 THIRD FLOOR: 17,034 SF
 TOTAL BLDG AREA: 51,603 SF
 BASIC ALLOWABLE STORIES: 4 (S13R)
 BASIC ALLOWABLE HEIGHT: 60' (S13R)
 ACTUAL STORIES: 3
 ACTUAL HEIGHT: 40'
 FIRE RESISTANCE RATING FOR BUILDING ELEMENTS: V-B
 EXTERIOR BEARING WALLS: 1 HOUR (INTERIOR RATING ONLY; PER IBC SEC. 705.5, FS-10)
 STRUCTURAL FRAME: 1 HOUR
 INTERIOR BEARING WALLS: 1 HOUR
 INTERIOR NON-BEARING WALLS: 0 HOUR (Less than 4 stories)
 SHaft ENCLOSURES: 1 HOUR
 FLOOR/CEILING ASSEMBLY: 1 HOUR
 CEILING/ROOF ASSEMBLY: 1 HOUR
 OCCUPANCY SEPARATIONS: (NON-SEPARATED USES PER IBC SEC. 302.1.2)
 ALLOWABLE AREA & HEIGHT CALCULATIONS ARE BASED ON THE MOST RESTRICTIVE USE.
 DIFFERENT USES ARE NOT SEPARATED BY FIRE BARRIERS.
 R2 TO R2 SEPARATION OF DWELLING UNITS = 1HR, 45 MIN. OPNGS
 ROOF COVERINGS: CLASS B OR BETTER
 INCIDENTAL SEPARATIONS: (PER IBC TABLE 508.2.5)
 STORAGE ROOMS OVER 100 SF - SPRINKLER SYSTEM (SMOKE BARRIER)
 DWELLING UNITS - 1 HR FIRE PARTITIONS
 SPECIAL CONDITIONS:
 EXIT & EMERGENCY LIGHTING, PORTABLE FIRE EXTINGUISHERS, MANUAL FIRE ALARM BELL - NO STEPS EXISTING OR PROPOSED AT REQUIRED EXITS
 RATED STAIR ENCLOSURES
 FIRE ALARM REQUIREMENTS:
 REQUIRED, PROVIDED - MANUAL & AUTOMATIC FIRE ALARM SYSTEM PER NFPA 72
 SIGNALING SYSTEM IS AUDIBLE/VISUAL PER NFPA 72 & ADA INSTALLED THROUGHOUT
 INITIATING DEVICES: PULL STATIONS; SMOKE DETECTION @ SLEEPING & COMMON AREAS, SPRINKLER SYSTEM FLOW AND TAMPER SWITCHES MONITORED.
 SMOKE ALARM REQUIREMENTS:
 REQUIRED, PROVIDED - SLEEPING ROOMS & AT EACH FLOOR
 AUTOMATIC FIRE SUPPRESSION SYSTEM:
 REQUIRED, PROVIDED PER NFPA 13R
 EMERGENCY POWER SOURCE:
 EXIT SIGNS, EXIT ILLUMINATION & EMERGENCY LIGHTING IS BY BATTERY BACK-UP
 HAZARDOUS MATERIALS: (PER IBC TABLE 307.1(1))
 NO HAZARDOUS MATERIALS ARE TO BE STORED
 SMOKE CONTROL: SMOKE PARTITIONS: STANDPIPES:
 NOT REQUIRED NOT REQUIRED NOT REQUIRED
 TOTAL OCCUPANT LOAD: REFERENCE SHEET CFP2
 EXITING: REFERENCE SHEET CFP2
 OCCUPANT LOAD FACTORS:

OCCUPANCY	USE	LOAD FACTOR	MAX. OCC LD=1	EXIT
R-2	LOBBY	15 sf/OCCUPANT	49	
R-2	OFFICE	150 sf/OCCUPANT	49	
R-2	MECH/ELEC	300 sf/OCCUPANT	49	
R-2	FITNESS	50 sf/OCCUPANT	49	
R-2	COMMUNITY RM	15 sf/OCCUPANT	49	
R-2	APARTMENT	200 sf/OCCUPANT	10	

LEGEND

DESIGNATED EMERGENCY EXIT: 88'74.4" (←EXIT WIDTH (ACTUAL/REQUIRED)), 122/540 (←OCCUPANT LOAD (ACTUAL/ALLOWED))

1 HOUR CONSTRUCTION (LD BRG WALLS)
 1 HOUR FIRE PARTITION: CORRIDOR, BETWEEN DWELLING, SLEEPING UNITS W/ 45 MIN OPENINGS (PER IBC 708.3 & 713.4)
 1 HOUR CONSTRUCTION, EXIT ENCLOSURE, SHAFt WALLS, W/ 60 MIN OPENINGS (PER IBC TABLE 716.5)

EXT LIGHT: FIRE EXTINGUISHER, FIRE HYDRANT, FIRE ALARM REMOTE ANNUNCIATOR PANEL, FIRE ALARM CONTROL PANEL

OCCUPANCY GROUP (AU - ACCESSORY USE)
 ROOM SQUARE FOOTAGE/OCCUPANT LOAD FACTOR
 OCCUPANT LOAD/REQUIRED NUMBER OF EXITS

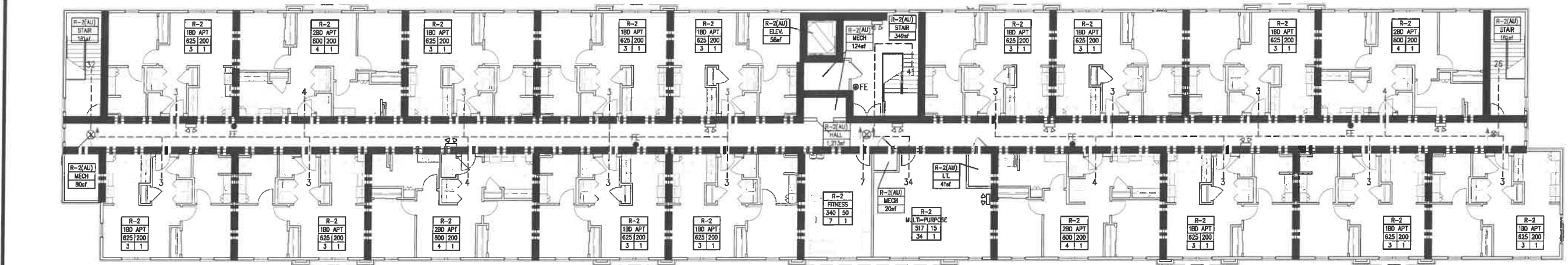
EXAMPLE:
A-1
ASSEMBLY HALL
5,550 15
370 2



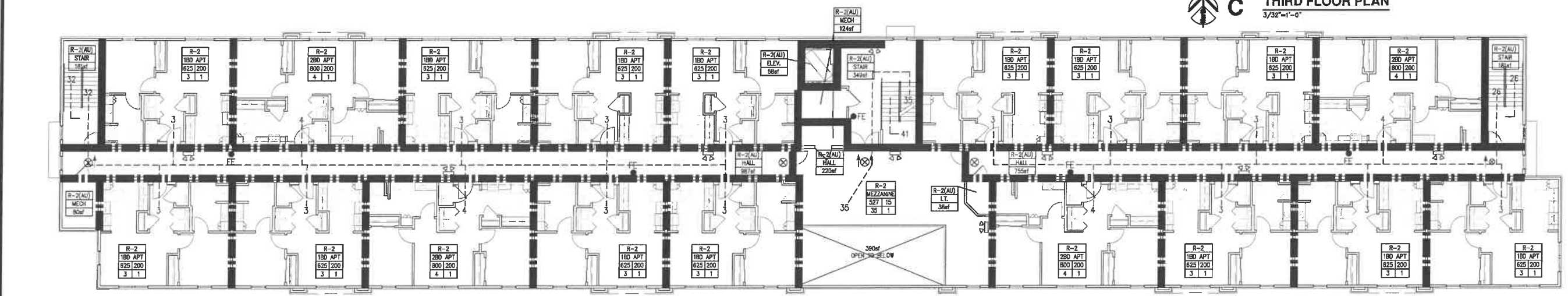
REVISION:
 DATE: 7-8-2025
 JOB: 25-3489
 SHEET NO.:



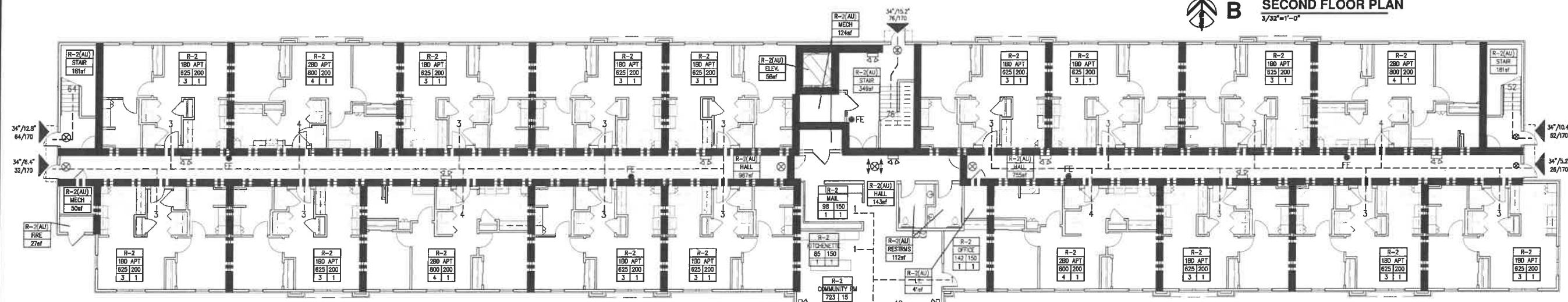
REVISION:
 DATE: 7-8-2025
 JOB: 25-3489
 SHEET NO.:



C THIRD FLOOR PLAN
 3/32'-1'-0"



B SECOND FLOOR PLAN
 3/32'-1'-0"



A FIRST FLOOR PLAN
 3/32'-1'-0"

LEGEND

DESIGNATED EMERGENCY EXIT
 1 HOUR CONSTRUCTION (LD BRG WALLS)
 1 HOUR FIRE PARTITION: CORRIDOR, BETWEEN DWELLING, SLEEPING UNITS W/ 45 MIN OPENINGS (PER IBC 703.3 & 713.4)
 1 HOUR CONSTRUCTION: EXIT ENCLOSURE, SHAFI WALLS W/ 60 MIN OPENINGS (PER IBC TABLE 716.5)

EXIT LIGHT
 EMERGENCY LIGHT
 EXIT/EMERGENCY LIGHT

FIRE EXTINGUISHER
 FIRE HYDRANT
 FIRE ALARM REMOTE ANNUNCIATOR PANEL
 FIRE ALARM CONTROL PANEL

EXAMPLE:
 OCCUPANCY GROUP (AU - ACCESSORY USE)
 OCCUPANCY USE
 ROOM SQUARE FOOTAGE/OCCUPANT LOAD FACTOR
 OCCUPANT LOAD/REQUIRED NUMBER OF EXITS

A-1
ASSEMBLY HALL
5,550 15
370 2

PARTIAL - CODE INFORMATION

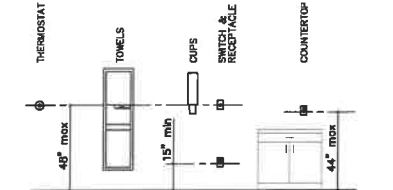
EXITING: SEE PLANS, THIS SHEET
 OCCUPANT LOAD: TOTAL BUILDING OCCUPANT LOAD = 301
 1ST FLOOR 109 OCCUPANTS
 2ND FLOOR 93 OCCUPANTS
 3RD FLOOR 99 OCCUPANTS

OCCUPANT LOAD FACTORS:

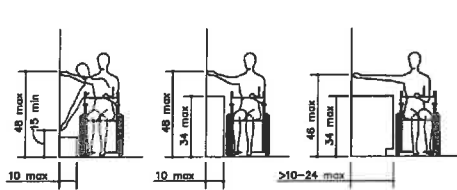
OCCUPANCY	USE	LOAD FACTOR	MAX. OCC LD=1	EXIT
R-2	LOBBY	15 sf/OCCUPANT	49	
R-2	OFFICE	150 sf/OCCUPANT	49	
R-2	MECH/ELEC	300 sf/OCCUPANT	49	
R-2	FITNESS	50 sf/OCCUPANT	49	
R-2	COMMUNITY RM	15 sf/OCCUPANT	49	
R-2	APARTMENT	200 sf/OCCUPANT	10	



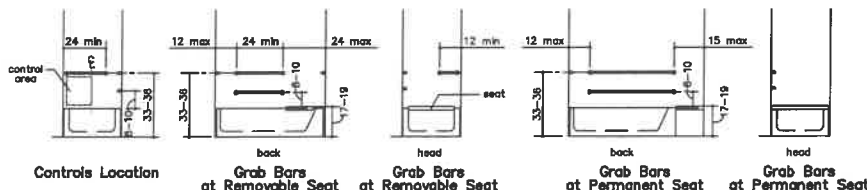
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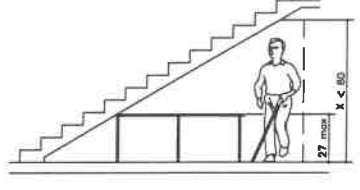
Q STANDARD CONTROL REACH LIMITATIONS DETAILS
 NO SCALE



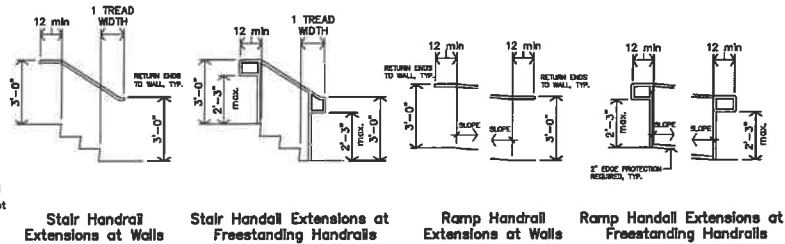
R STANDARD REACH ADA DIAGRAMS
 NO SCALE



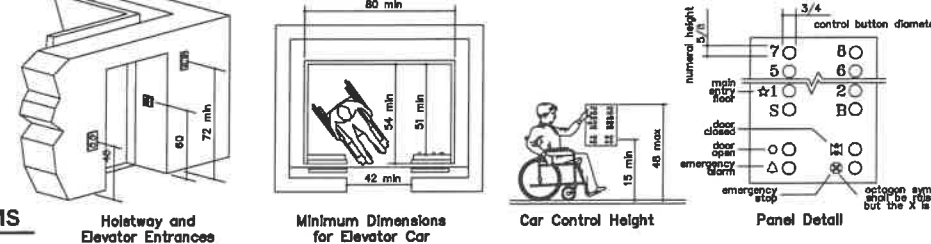
Grab Bars at Removable Seat
Grab Bars at Permanent Seat



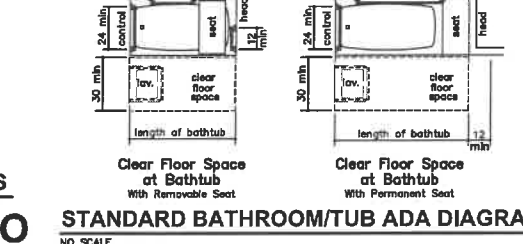
S STANDARD VERTICAL CLEARANCE
 NO SCALE



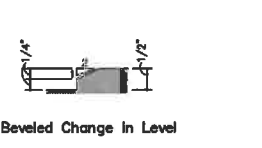
M STANDARD RAMP/STAIR HANDRAIL EXTENSIONS
 NO SCALE



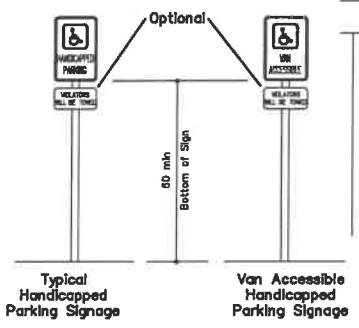
N STANDARD ELEVATOR ADA DIAGRAMS
 NO SCALE



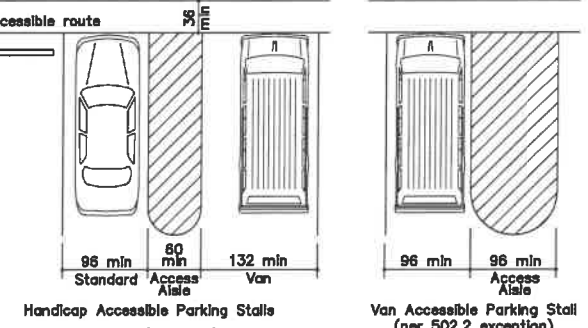
O STANDARD BATHROOM/TUB ADA DIAGRAMS
 NO SCALE



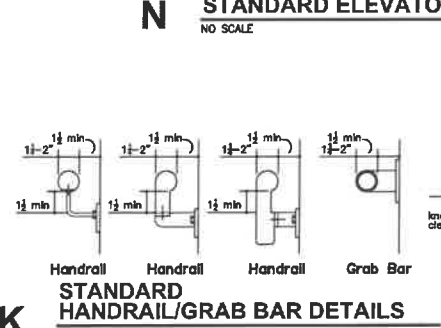
P THRESHOLD ADA DIAGRAMS
 NO SCALE



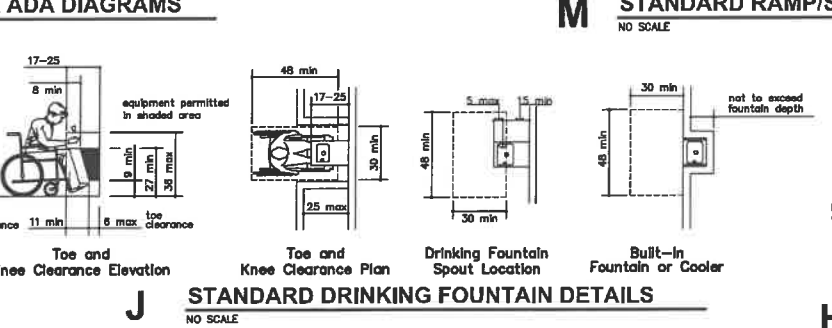
L STANDARD PARKING ADA DIAGRAMS
 NO SCALE



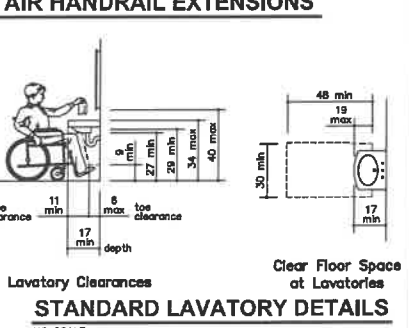
Handicap Accessible Parking Stalls
Van Accessible Parking Stall (per 502.2 exception)



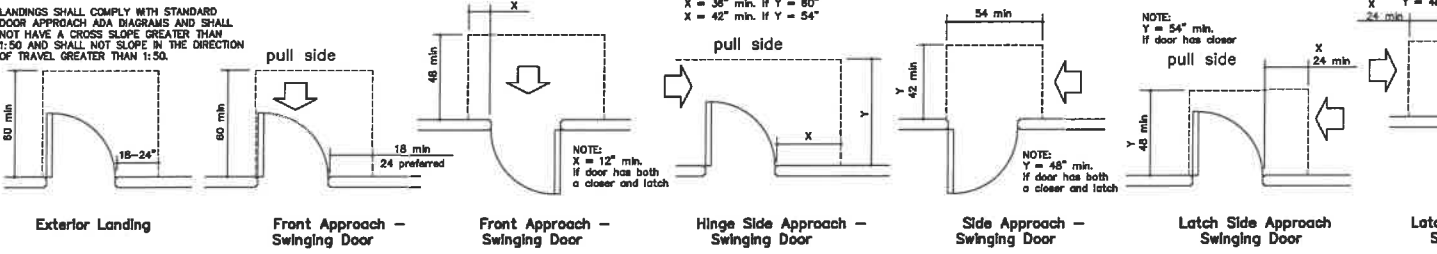
K STANDARD HANDRAIL/GRAB BAR DETAILS
 NO SCALE



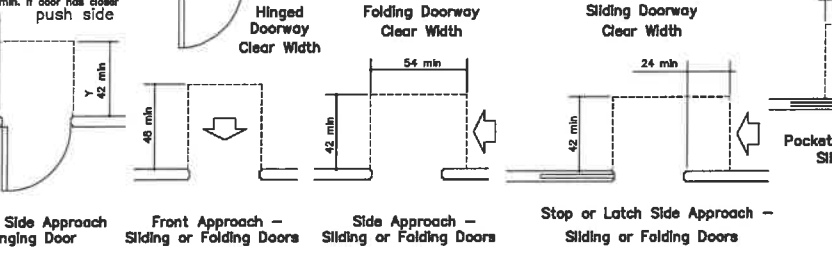
J STANDARD DRINKING FOUNTAIN DETAILS
 NO SCALE



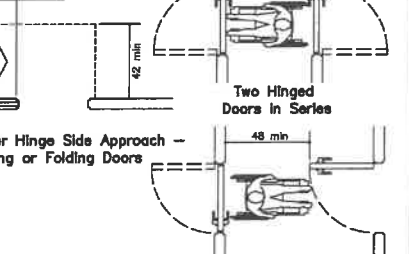
H STANDARD LAVATORY DETAILS
 NO SCALE



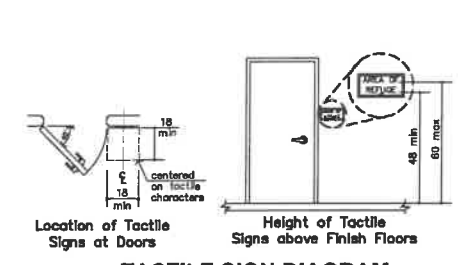
G STANDARD DOOR APPROACH ADA DIAGRAMS
 NO SCALE



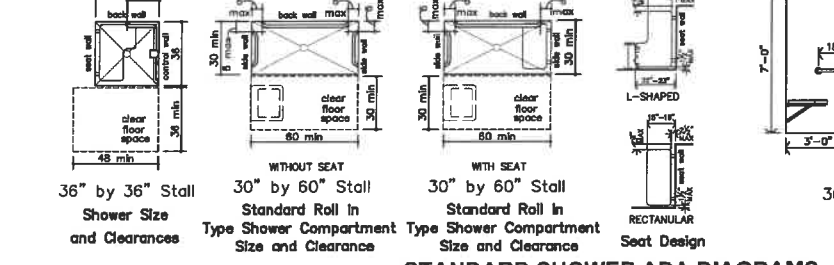
Hinged Doorway Clear Width
Folding Doorway Clear Width
Sliding Doorway Clear Width



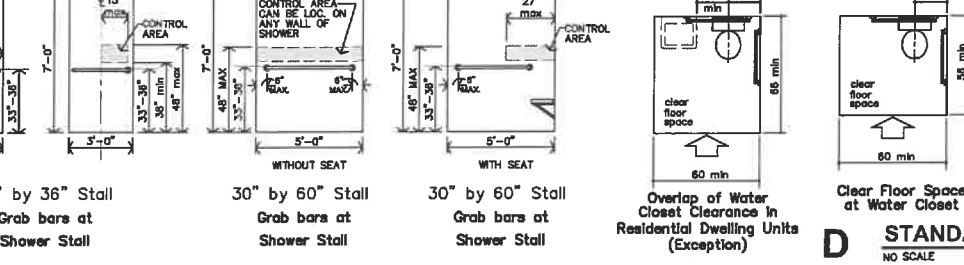
Two Hinged Doors in Series
Pocket or Hinge Side Approach - Sliding or Folding Doors



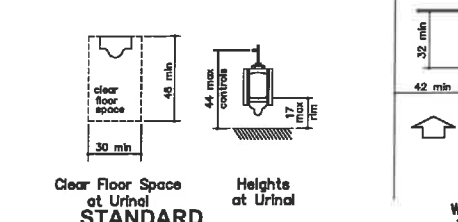
F TACTILE SIGN DIAGRAM
 NO SCALE



E STANDARD SHOWER ADA DIAGRAMS
 NO SCALE



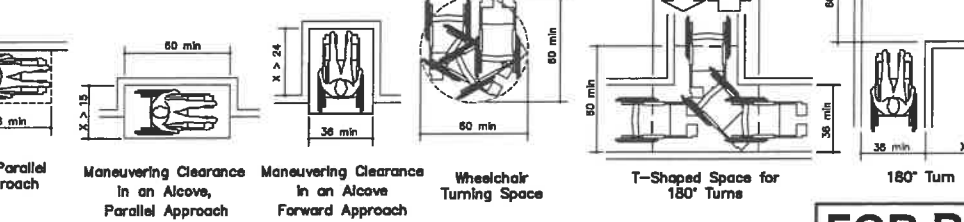
A STANDARD ADA DIAGRAMS
 NO SCALE



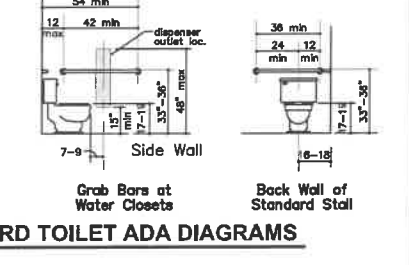
C STANDARD URINAL ADA DIAGRAMS
 NO SCALE



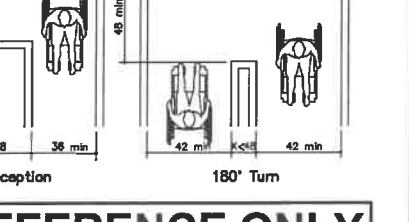
B STANDARD TOILET STALL ADA DIAGRAMS
 NO SCALE



Maneuvering Clearance In an Alcove, Parallel Approach
Maneuvering Clearance In an Alcove, Forward Approach
Wheelchair Turning Space



D STANDARD TOILET ADA DIAGRAMS
 NO SCALE



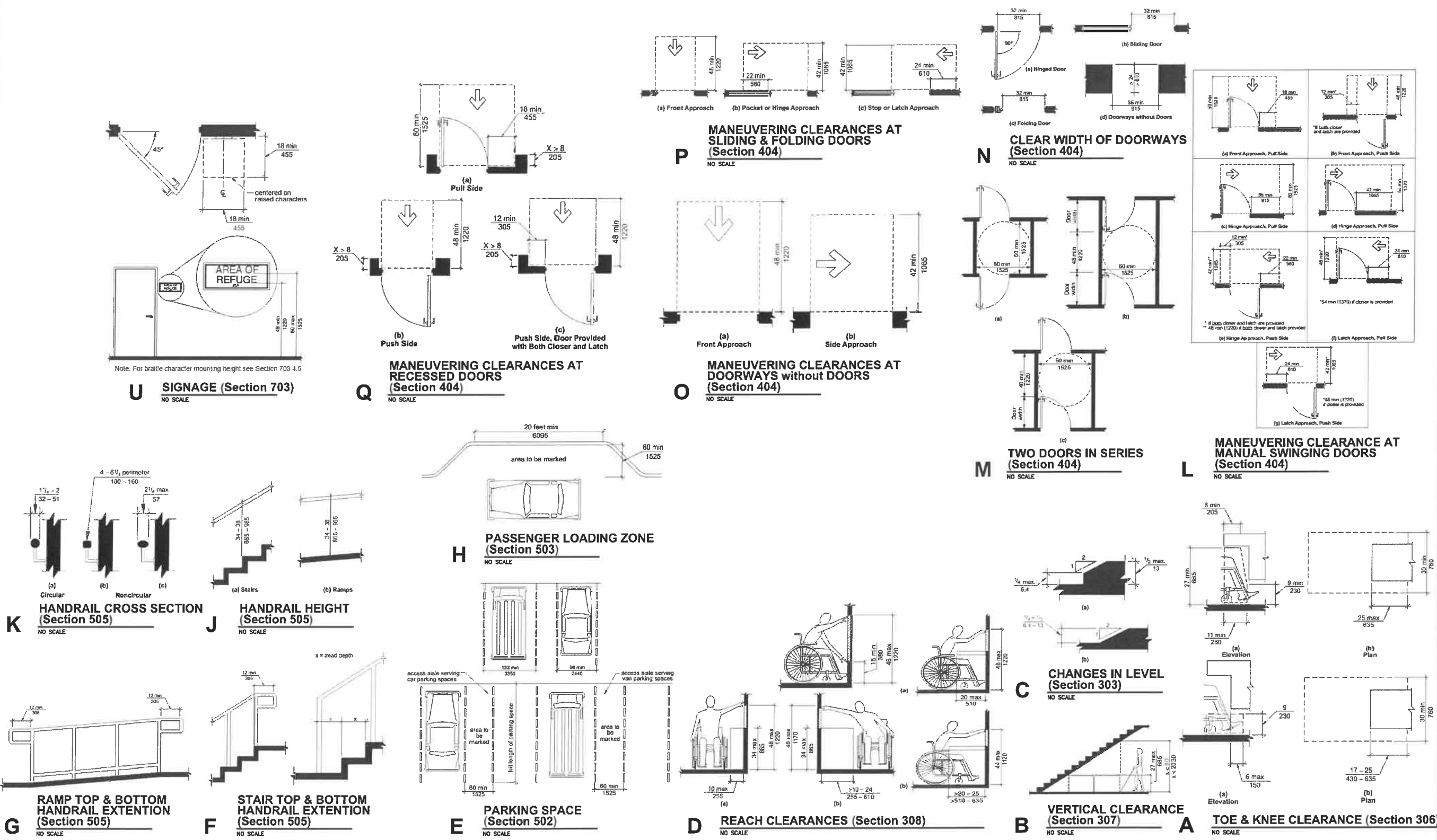
180° Turn Exception
180° Turn

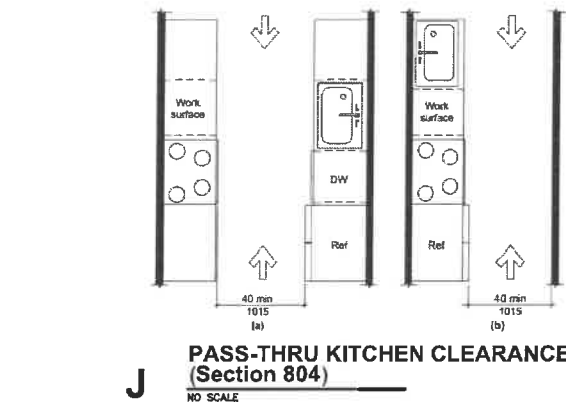
FOR REFERENCE ONLY



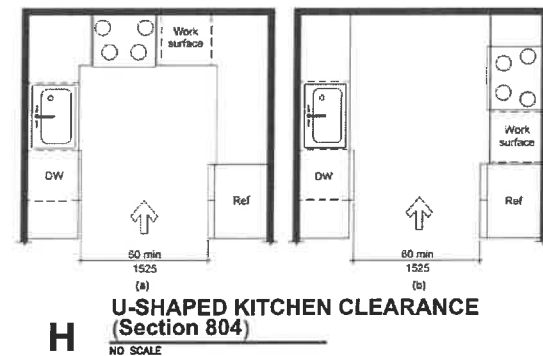
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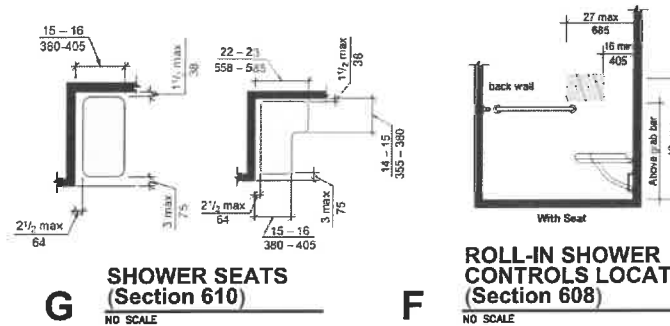




J PASS-THRU KITCHEN CLEARANCE
(Section 804)
NO SCALE



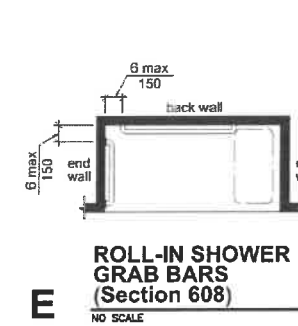
H U-SHAPED KITCHEN CLEARANCE
(Section 804)
NO SCALE



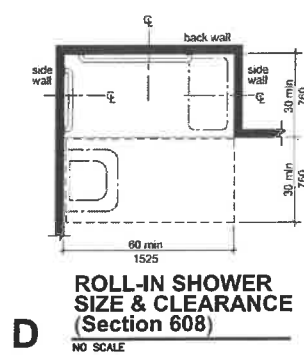
G SHOWER SEATS
(Section 610)
NO SCALE



F ROLL-IN SHOWER CONTROLS LOCATION
(Section 608)
NO SCALE



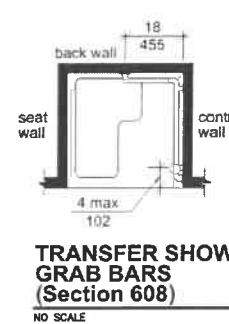
E ROLL-IN SHOWER GRAB BARS
(Section 608)
NO SCALE



D ROLL-IN SHOWER SIZE & CLEARANCE
(Section 608)
NO SCALE



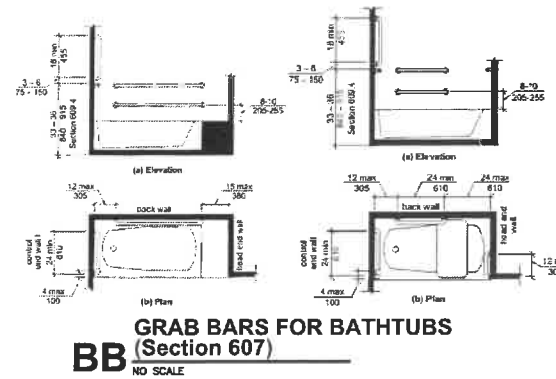
C TRANSFER SHOWER CONTROLS LOCATION
(Section 608)
NO SCALE



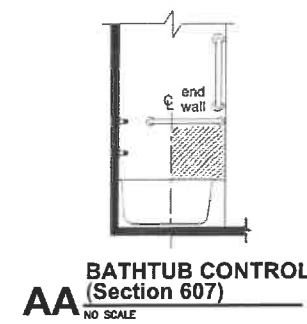
B TRANSFER SHOWER GRAB BARS
(Section 608)
NO SCALE



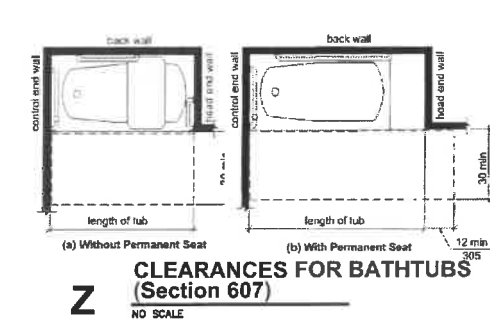
A TRANSFER SHOWER SIZE & CLEARANCE
(Section 608)
NO SCALE



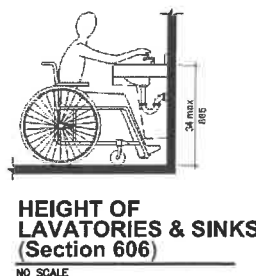
BB GRAB BARS FOR BATHTUBS
(Section 607)
NO SCALE



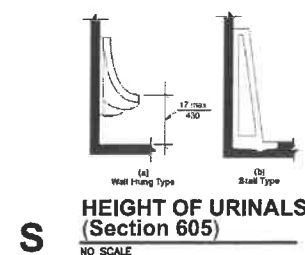
AA BATHTUB CONTROLS
(Section 607)
NO SCALE



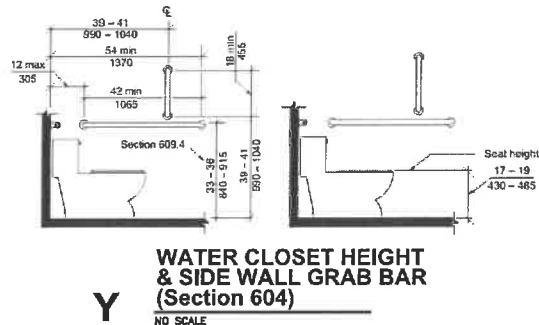
Z CLEARANCES FOR BATHTUBS
(Section 607)
NO SCALE



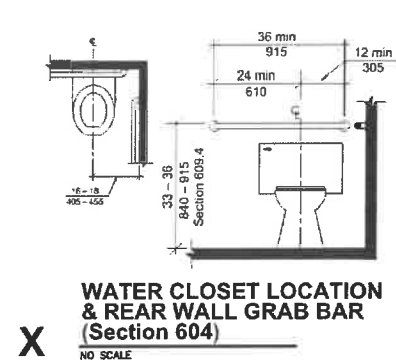
T HEIGHT OF LAVATORIES & SINKS
(Section 606)
NO SCALE



S HEIGHT OF URINALS
(Section 605)
NO SCALE



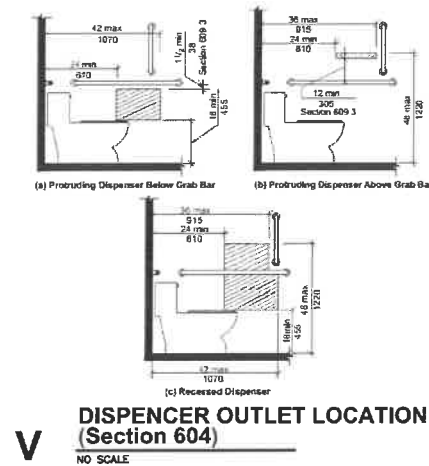
Y WATER CLOSET HEIGHT & SIDE WALL GRAB BAR
(Section 604)
NO SCALE



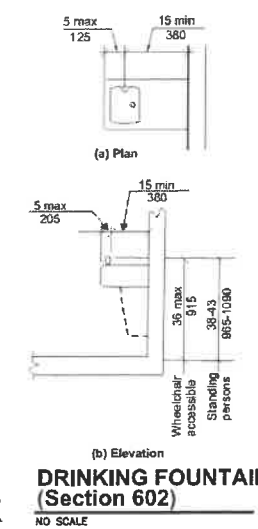
X WATER CLOSET LOCATION & REAR WALL GRAB BAR
(Section 604)
NO SCALE



W CLEARANCES AT WATER CLOSET
(Section 604)
NO SCALE

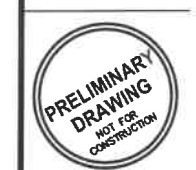


V DISPENSER OUTLET LOCATION
(Section 604)
NO SCALE

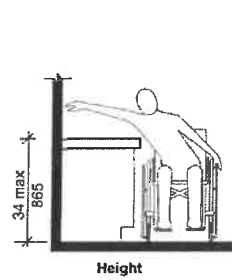


R DRINKING FOUNTAIN
(Section 602)
NO SCALE

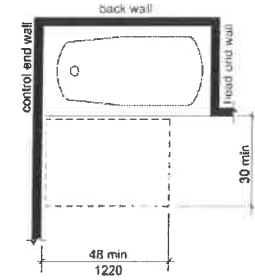
FOR REFERENCE ONLY



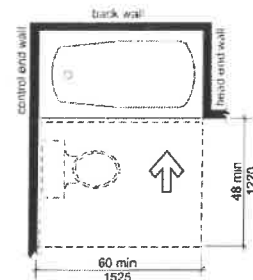
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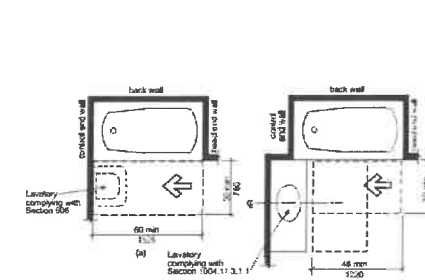
X LAVATORY AT TYPE B UNITS - OPT B BATH (Section 1004)
NO SCALE



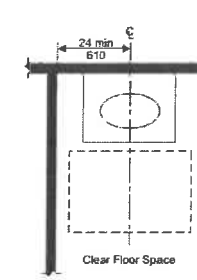
W BATHTUB CLEARANCES AT TYPE B UNITS - OPT B BATH (Section 1004)
NO SCALE



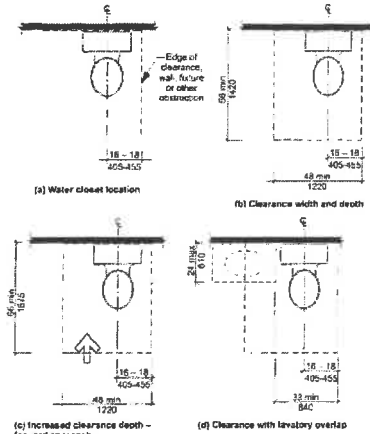
V BATHTUB CLEARANCES AT TYPE B UNITS - OPT A BATH (Section 1004)
NO SCALE



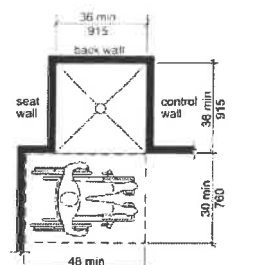
U BATHTUB CLEARANCES AT TYPE B UNITS - OPT A BATH (Section 1004)
NO SCALE



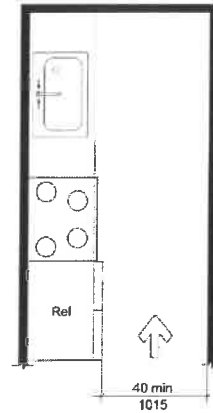
T LAVATORY AT TYPE B UNITS - OPT A BATH (Section 1004)
NO SCALE



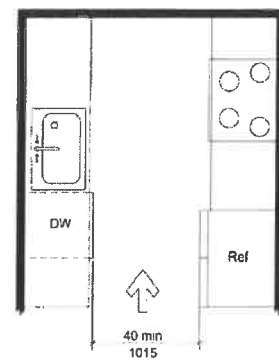
S WATER CLOSET CLEARANCES TYPE B UNITS (Section 1004)
NO SCALE



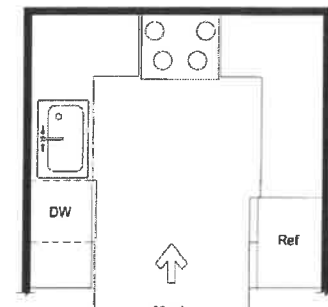
R TRANSFER SHOWER AT TYPE B UNITS (Section 1004)
NO SCALE



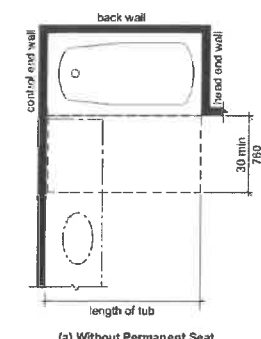
Q MIN KITCHEN CLEARANCE - TYPE B UNITS (Section 1004)
NO SCALE



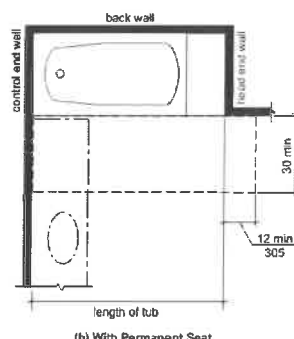
P ROLL-IN SHOWER CLEARANCES TYPE A UNITS (Section 1003)
NO SCALE



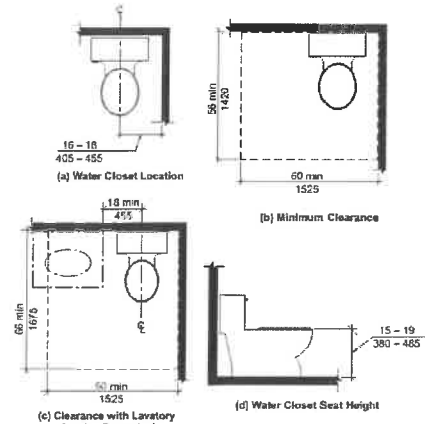
K MIN KITCHEN CLEARANCE - TYPE A UNITS (Section 1003)
NO SCALE



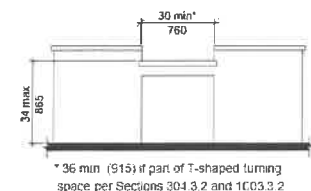
O BATHTUB CLEARANCES TYPE A UNITS (Section 1003)
NO SCALE



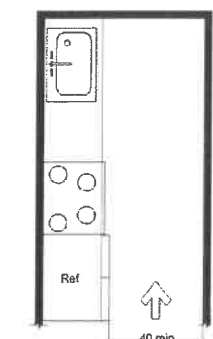
N WATER CLOSET CLEARANCES TYPE A UNITS (Section 1003)
NO SCALE



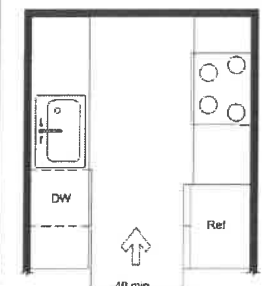
M WORK SURFACE - TYPE A UNITS (Section 1003)
NO SCALE



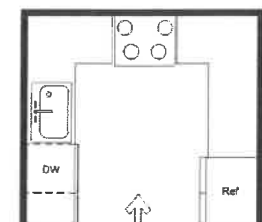
L KITCHEN SINK - TYPE A UNITS (Section 1003)
NO SCALE



Q MIN KITCHEN CLEARANCE - TYPE B UNITS (Section 1004)
NO SCALE



P ROLL-IN SHOWER CLEARANCES TYPE A UNITS (Section 1003)
NO SCALE



K MIN KITCHEN CLEARANCE - TYPE A UNITS (Section 1003)
NO SCALE



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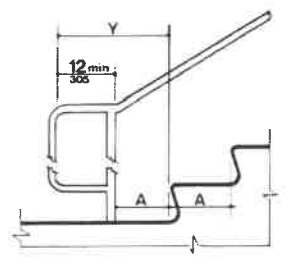
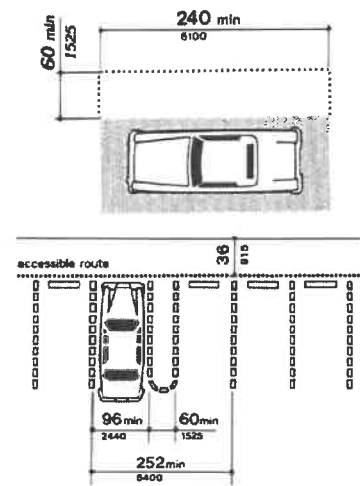


Figure 19(c)
Stair Handrails - Extension at Bottom of Run

Note: X is the 12 in minimum handrail extension required at each top riser. Y is the minimum handrail extension of 12 in plus the width of one tread that is required at each bottom riser.

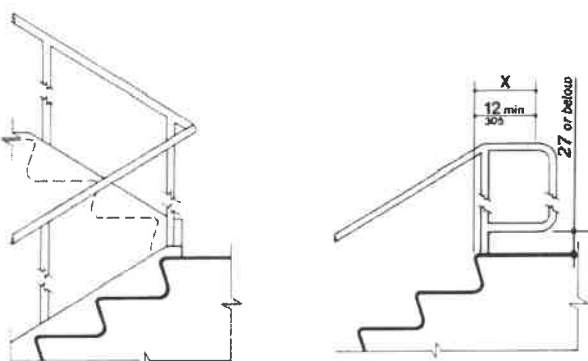
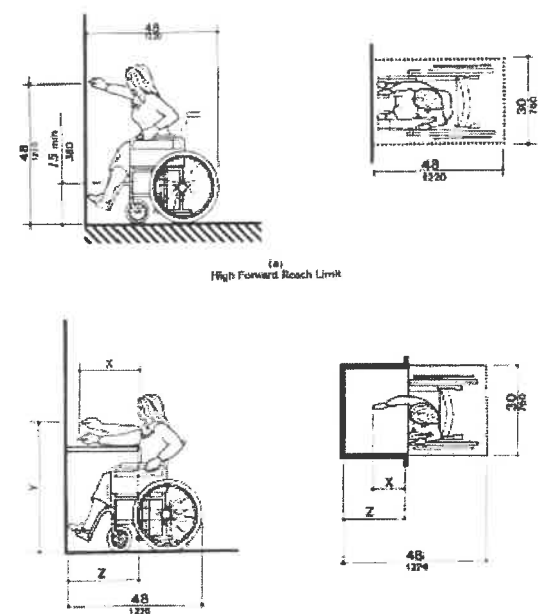


Figure 19(d)
Stair Handrails - Extension at Top of Run

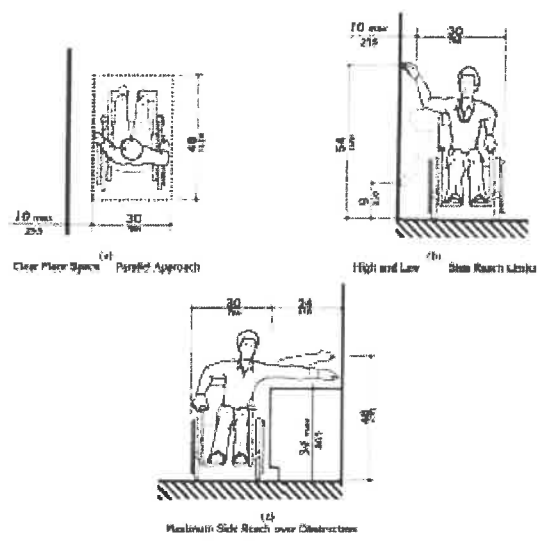
Note: X is the 12 in minimum handrail extension required at each top riser. Y is the minimum handrail extension of 12 in plus the width of one tread that is required at each bottom riser.

B STANDARD UFAS PARKING SPACES
 NO SCALE



NOTE: x shall be < 25 in (635 mm); a shall be >= x. When x < 20 in (510 mm), then y shall be 48 in (1220 mm) maximum. When x = 20 in (510) to 535 mm, then y shall be 48 in (1220 mm) maximum.

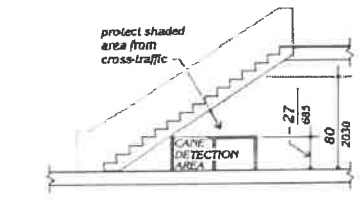
A STANDARD UFAS REACH DIAGRAMS
 NO SCALE



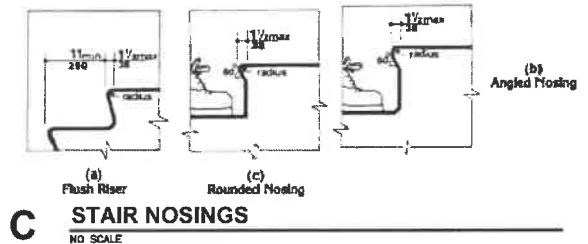
NOTE: REFERENCE FULL UNIFORM FEDERAL ACCESSIBILITY STANDARDS FOR ADDITIONAL INFORMATION.

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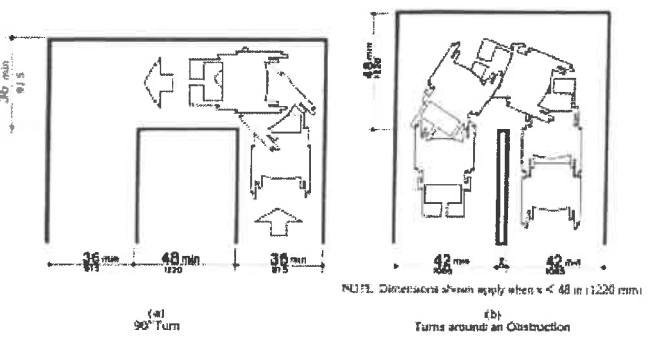
J STANDARD UFAS HANDRAILS
 NO SCALE



F GENERAL UFAS DIAGRAM
 NO SCALE



C STAIR NOSINGS
 NO SCALE



E UFAS WIDTH DIAGRAMS
 NO SCALE

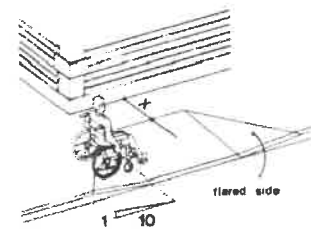


Figure 12(a)

4.7.5 SIDES OF CURB RAMPS. If a curb ramp is located where pedestrians must walk across the ramp, or where it is not protected by handrails or guardrails, then it shall have flared sides; the maximum slope of the flare shall be 1:10 (see Fig. 12(a)). Curb ramps with returned curbs may be used where pedestrians would not normally walk across the ramp (see Fig. 12(b)).

Note: If X is less than 48 inches, then the slope of the flared side shall not exceed 1:12.

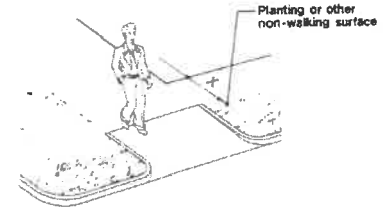
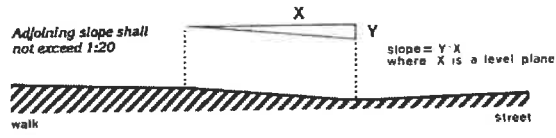
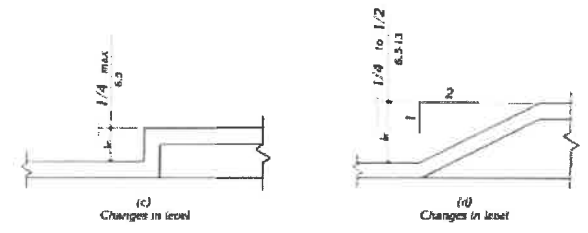


Figure 12(b)

H STANDARD UFAS CURB RAMPS
 NO SCALE

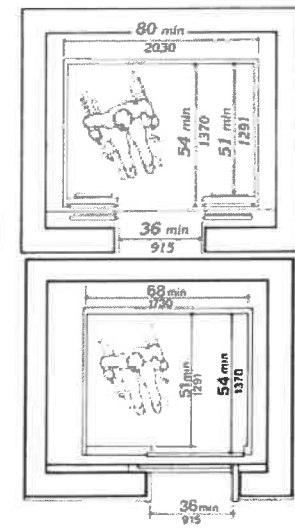
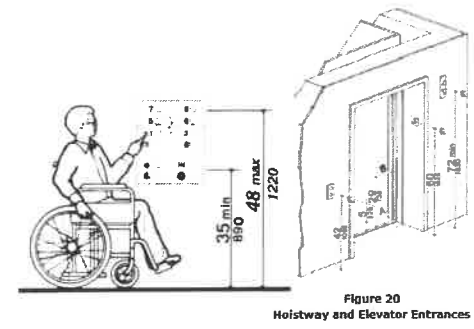
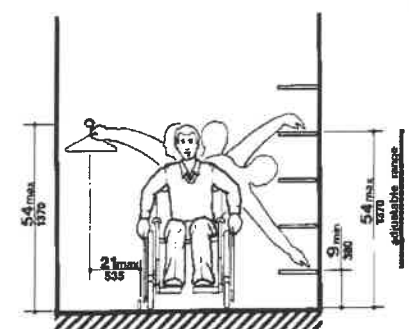
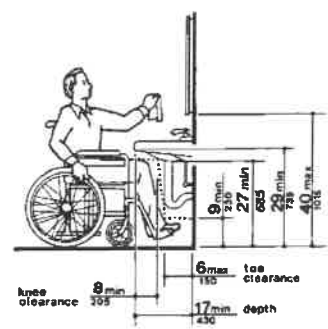
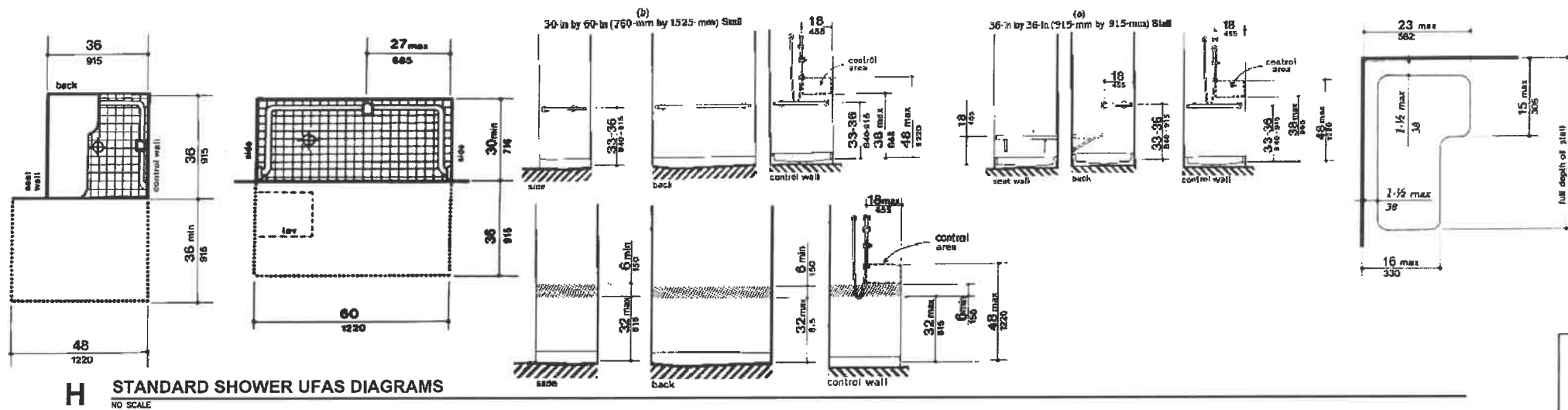


G STANDARD UFAS SLOPE
 NO SCALE



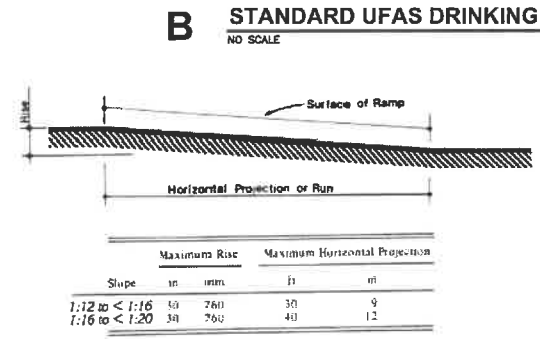
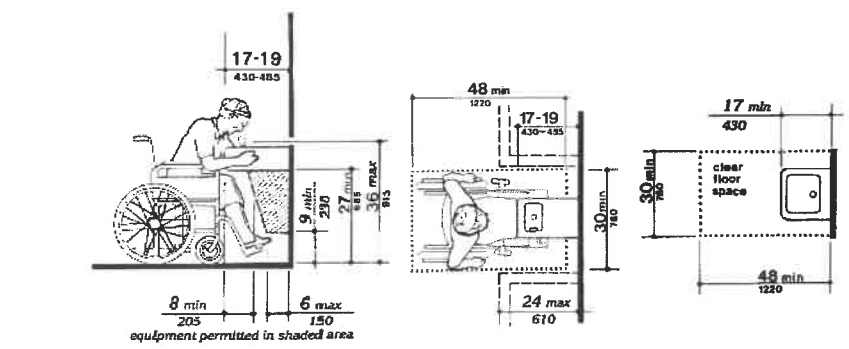
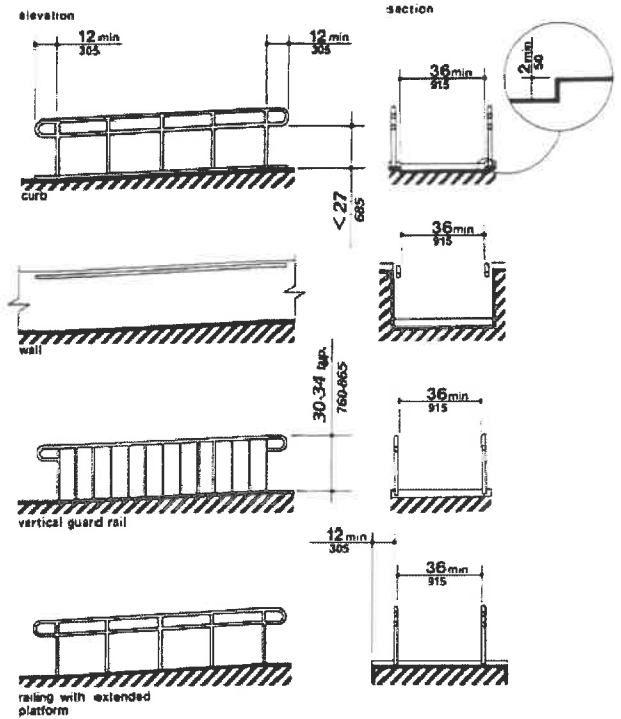
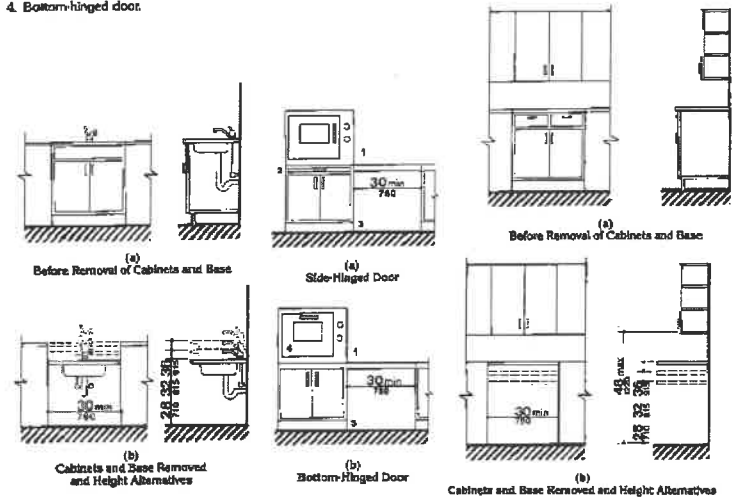
D UFAS CHANGE IN LEVEL DIAGRAM
 NO SCALE

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Note: The automatic door reopening device is activated if an object passes through either line A or line B. Line A and line B represent the vertical locations of the door reopening device not requiring contact.

SYMBOL KEY:
1. Countertop or wall-mounted oven.
2. Pull-out board preferred with side-opening door.
3. Clear open space.
4. Bottom-hinged door.



Slope	Maximum Rise		Maximum Horizontal Projection	
	in	mm	ft	m
1:12 to < 1:16	50	760	30	9
1:16 to < 1:20	30	760	40	12

NOTE:
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PRELIMINARY DRAWING
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UFAS2

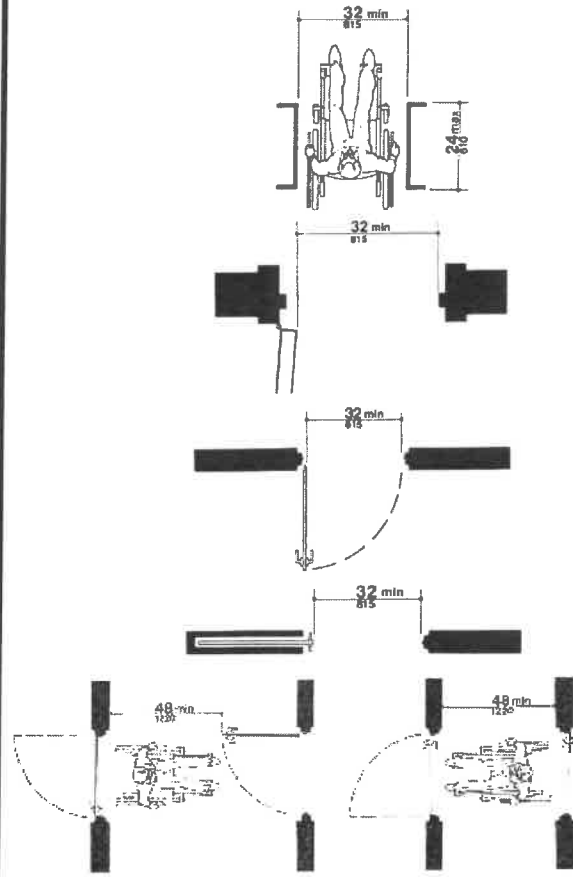
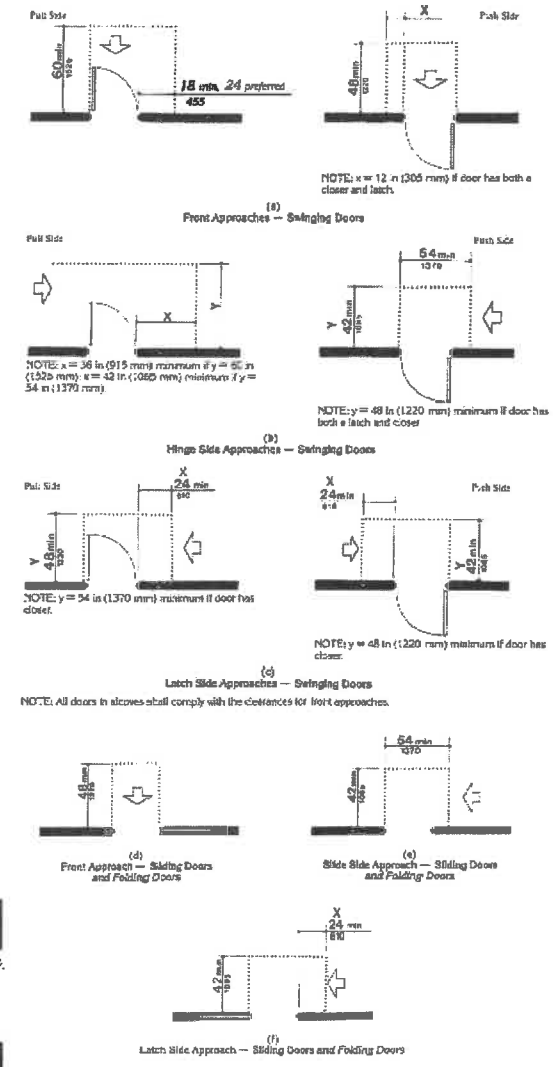
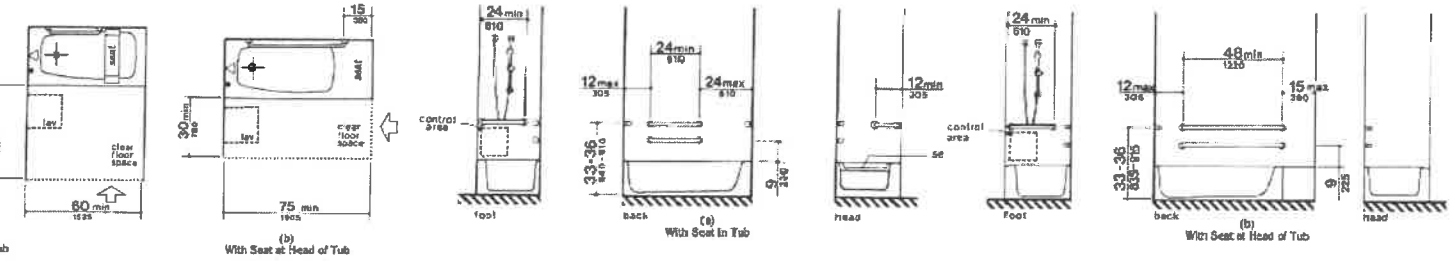
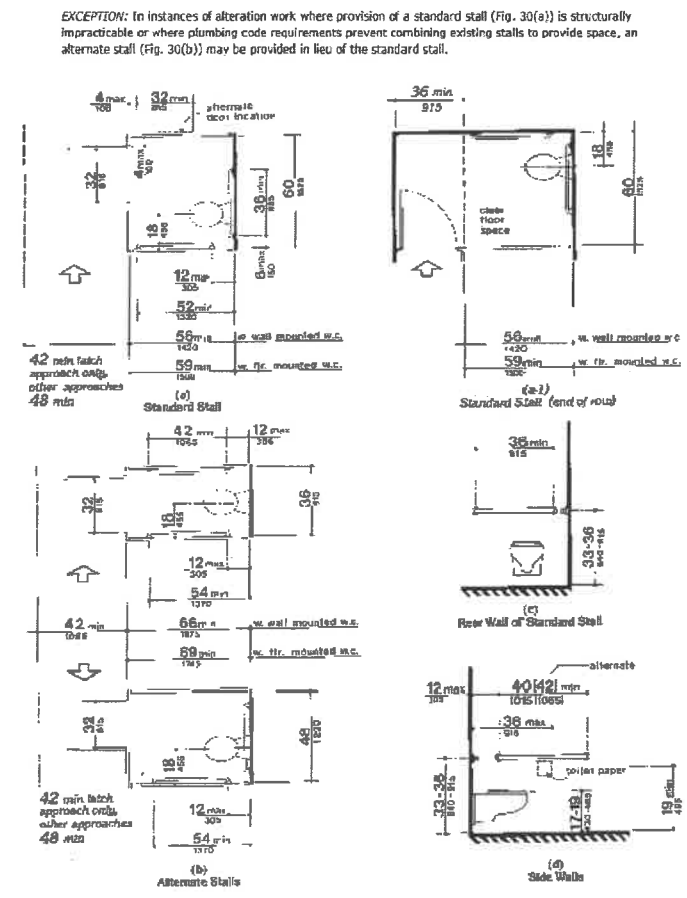
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REVISION:
 DATE: 7-8-2025
 JOB: 25-3489
 SHEET NO.:

FOR REFERENCE ONLY

NOTE:
 REFERENCE FULL UNIFORM FEDERAL
 ACCESSIBILITY STANDARDS FOR
 ADDITIONAL INFORMATION.



A STANDARD UFAS TOILET/WATER CLOSET DIAGRAMS
 NO SCALE

B STANDARD UFAS DOOR APPROACH/CLEARANCES
 NO SCALE

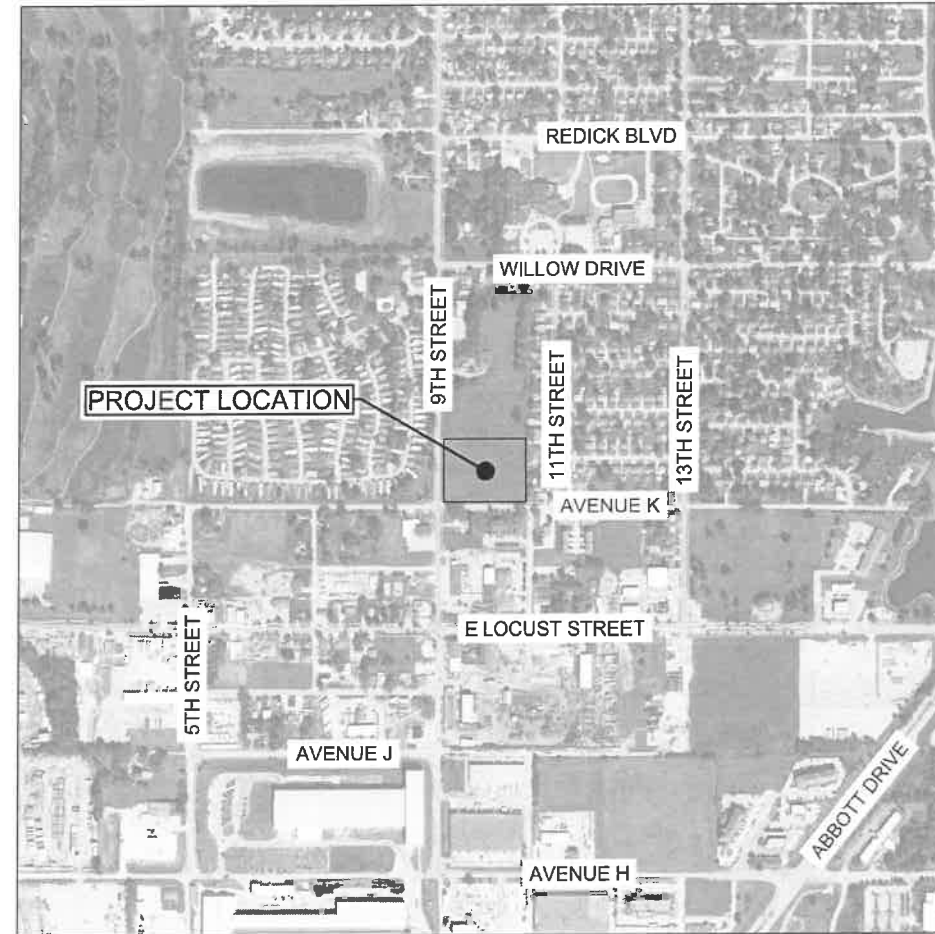
C STANDARD BATHROOM/TUB DIAGRAMS
 NO SCALE

SITE PLANS FOR THE RESIDENCE AT CARTER LAKE

9TH STREET & AVENUE K CITY OF CARTER LAKE, POTTAWATTAMIE COUNTY, IOWA

OWNER / DEVELOPER

AUSTIN KACK
5345 W. 151ST TERRACE
LEAWOOD, KS 66224

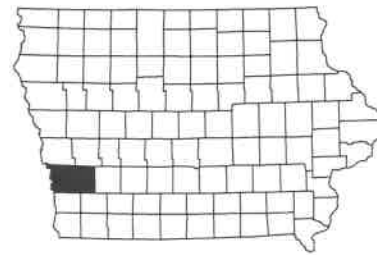


VICINITY MAP



INDEX OF SHEETS

- C1 TITLE
- C2 GENERAL INFORMATION
- C3 EXISTING SITE SURVEY & DEMOLITION PLAN
- C4 DIMENSION & LAYOUT PLAN
- C5 UTILITY PLAN
- C6 GRADING PLAN
- C7 SWPPP NOTES
- C8 SWPPP & EROSION CONTROL PLAN
- C9 LANDSCAPING PLAN
- C10 DETAILS



REVISION	DATE	BY

THE RESIDENCE AT CARTER LAKE

TITLE

CARTER LAKE, IOWA

SNYDER & ASSOCIATES, INC. I

231 BENNETT AVENUE
COUNCIL BLUFFS, IOWA 51503
712-322-3202 | www.snyder-associates.com

I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Elizabeth A. Hunter, P.E. _____ Date: _____

License Number P18178

My License Renewal Date is December 31, 2026

Pages or sheets covered by this seal: _____

SNYDER & ASSOCIATES

Project No. 125.0711.10

Sheet C1

Project No. 125.0711.10
Sheet C1

LEGEND

FEATURES

- Section Corner
1/2" Rebar, Cap # 23722
ROW Marker
Control Point
Bench Mark
Platted Distance
Measured Bearing & Distance
Recorded As
Deed Distance
Calculated Distance
Minimum Protection Elevation
Centerline
Section Line
1/4 Section Line
1/4 1/4 Section Line
Easement Line

FOUND

- Cap
H
P
M
R
D
C
MPE

SET

- Cap
H
P
M
R
D
C
MPE

FEATURES

- Spot Elevation
Contour Elevation
Fence (Barbed, Field, Hog)
Fence (Chain Link)
Fence (Wood)
Fence (Silt)
Tree Line
Tree Removal Limits
Tree Stump
Deciduous Tree \ Shrub
Coniferous Tree \ Shrub
Communication
Overhead Communication
Fiber Optic
Underground Electric
Overhead Electric
Duct Bank
Gas Main with Size
High Pressure Gas Main with Size
Water Main with Size
Sanitary Sewer with Size
Sanitary Manhole
Storm Sewer with Size
Storm Manhole
Single Storm Sewer Intake
Double Storm Sewer Intake

EXISTING

- Spot Elevation
Contour Elevation
Fence (Barbed, Field, Hog)
Fence (Chain Link)
Fence (Wood)
Fence (Silt)
Tree Line
Tree Removal Limits
Tree Stump
Deciduous Tree \ Shrub
Coniferous Tree \ Shrub
Communication
Overhead Communication
Fiber Optic
Underground Electric
Overhead Electric
Duct Bank
Gas Main with Size
High Pressure Gas Main with Size
Water Main with Size
Sanitary Sewer with Size
Sanitary Manhole
Storm Sewer with Size
Storm Manhole
Single Storm Sewer Intake
Double Storm Sewer Intake

PROPOSED

- Spot Elevation
Contour Elevation
Fence (Barbed, Field, Hog)
Fence (Chain Link)
Fence (Wood)
Fence (Silt)
Tree Line
Tree Removal Limits
Tree Stump
Deciduous Tree \ Shrub
Coniferous Tree \ Shrub
Communication
Overhead Communication
Fiber Optic
Underground Electric
Overhead Electric
Duct Bank
Gas Main with Size
High Pressure Gas Main with Size
Water Main with Size
Sanitary Sewer with Size
Sanitary Manhole
Storm Sewer with Size
Storm Manhole
Single Storm Sewer Intake
Double Storm Sewer Intake

(* Denotes the survey quality service level for utilities

- Fire Hydrant
Fire Hydrant on Building
Water Main Valve
Water Service Valve
Well
Utility Pole
Guy Anchor
Utility Pole with Light
Utility Pole with Transformer
Street Light
Yard Light
Electric Box
Electric Transformer
Traffic Sign
Communication Pedestal
Communication Manhole
Communication Handhole
Fiber Optic Manhole
Fiber Optic Handhole
Gas Valve
Gas Manhole
Gas Apparatus
Fence Post or Guard Post
Underground Storage Tank
Above Ground Storage Tank
Sign
Satellite Dish
Mailbox
Sprinkler Head
Irrigation Control Valve
Soil Boring
Test Hole Location for SUE w/ID

UTILITY QUALITY SERVICE LEVELS

QUALITY LEVELS OF UTILITIES ARE SHOWN IN THE PARENTHESES WITH THE UTILITY TYPE AND WHEN APPLICABLE, SIZE. THE QUALITY LEVELS ARE BASED ON THE CI / ASCE 38-02 STANDARD.
QUALITY LEVEL [D] INFORMATION IS DERIVED FROM EXISTING UTILITY RECORDS OR ORAL RECOLLECTIONS.
QUALITY LEVEL [C] INFORMATION IS OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND USING PROFESSIONAL JUDGMENT IN CORRELATING THIS INFORMATION WITH QUALITY D INFORMATION.
QUALITY LEVEL [B] INFORMATION IS OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES.
QUALITY LEVEL [A] IS HORIZONTAL AND VERTICAL POSITION OF UNDERGROUND UTILITIES OBTAINED BY ACTUAL EXPOSURE OR VERIFICATION OF PREVIOUSLY EXPOSED SUBSURFACE UTILITIES, AS WELL AS THE TYPE, SIZE, CONDITION, MATERIAL, AND OTHER CHARACTERISTICS.

UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN COMPRISE ALL SUCH ITEMS IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN ARE IN THE EXACT LOCATION INDICATED EXCEPT WHERE NOTED AS QUALITY LEVEL A.

GENERAL NOTES

- 1. NOTIFY UTILITY PROVIDERS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES AND COORDINATE WITH UTILITY PROVIDERS AS NECESSARY DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION, AND DEPTH OF ALL UTILITIES. PROTECT ALL UTILITY LINES AND STRUCTURES NOT SHOWN FOR REMOVAL OR MODIFICATION. ANY DAMAGES TO UTILITY ITEMS NOT SHOWN FOR REMOVAL OR MODIFICATION SHALL BE REPAIRED TO THE UTILITY OWNER'S SPECIFICATIONS AT THE CONTRACTOR'S EXPENSE.
2. CONSTRUCTION OF ALL STREET AND UTILITY IMPROVEMENTS SHALL CONFORM TO THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE SOILS REPORTS PREPARED BY OTHERS.
3. LENGTH OF UTILITIES SHOWN ON PLANS ARE DIMENSIONED FROM CENTERLINE OF STRUCTURE TO CENTERLINE OF STRUCTURE.
4. ALL TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). WHEN CONSTRUCTION ACTIVITIES OBSTRUCT PORTIONS OF THE ROADWAY, FLAGGERS SHALL BE PROVIDED. FLAGGERS SHALL CONFORM TO THE MUTCD IN APPEARANCE, EQUIPMENT AND ACTIONS.
5. NOTIFY OWNER, ENGINEER, WATER WORKS, AND CARTER LAKE PUBLIC WORKS AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
6. CONSTRUCT MANHOLES AND APPURTENANCES AS WORK PROGRESSES. BACKFILL WITH SUITABLE MATERIAL AND COMPACT TO 95% MAXIMUM DENSITY.
7. IN THE EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
8. ALL FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE RECONNECTED AND NOTED ACCORDINGLY ON THE AS-BUILT DOCUMENTS.
9. DIMENSIONS, BUILDING LOCATION, UTILITIES AND GRADING OF THIS SITE ARE BASED ON AVAILABLE INFORMATION AT THE TIME OF DESIGN. DEVIATIONS MAY BE NECESSARY IN THE FIELD. ANY SUCH CHANGES OR CONFLICTS BETWEEN THIS PLAN AND FIELD CONDITIONS ARE TO BE REPORTED TO THE ARCHITECT/ENGINEER PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT VERIFICATION OF ALL SITE IMPROVEMENTS PRIOR TO CONSTRUCTION.
10. CONTRACTOR TO LOAD AND TRANSPORT ALL MATERIALS CONSIDERED TO BE UNDESIRABLE TO BE INCORPORATED INTO THE PROJECT TO AN APPROVED OFF-SITE WASTE SITE.
11. CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE CUT OR FILLED. RESPREAD TO MINIMUM 6" DEPTH TO FINISH GRADES.
12. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE FINISHED GRADES AND/OR TOP OF PAVING SLAB (GUTTER), UNLESS OTHERWISE NOTED.
13. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DIRT AND DEBRIS FROM NEIGHBORING STREETS, DRIVEWAYS, AND SIDEWALKS CAUSED BY CONSTRUCTION ACTIVITIES IN A TIMELY MANNER.
14. THE ADJUSTMENT OF ANY EXISTING UTILITY APPURTENANCES TO FINAL GRADE IS CONSIDERED INCIDENTAL TO THE SITE WORK.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING EROSION CONTROL MEASURES AS NECESSARY. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING ANY EXISTING EROSION CONTROL MEASURES ON SITE AT THE TIME OF CONSTRUCTION. GRADING AND SOIL EROSION CONTROL CODE REQUIREMENTS SHALL BE MET BY CONTRACTOR. A GRADING PERMIT IS REQUIRED FOR THIS PROJECT.
16. CONTRACTOR TO COORDINATE NATURAL GAS, ELECTRICAL, TELEPHONE AND ANY OTHER FRANCHISE UTILITY SERVICES WITH UTILITY SERVICE PROVIDER, CARTER LAKE, AND THE OWNER PRIOR TO CONSTRUCTION.
17. CONTRACTOR TO VERIFY ALL UTILITY CROSSINGS AND MAINTAIN MINIMUM 18" VERTICAL AND HORIZONTAL CLEARANCE BETWEEN UTILITIES. CONTRACTOR TO COORDINATE UTILITY ROUTING TO BUILDING AND VERIFY CONNECTION LOCATIONS AND INVERTS PRIOR TO CONSTRUCTION.

NOTES

- 1. BUILDING LINES AND CORNERS ARE FOR USE IN PREPARING CIVIL SITE PLAN DOCUMENTS. BUILDING CORNERS AND BUILDING LINES SHOULD BE SPECIFICALLY VERIFIED, AS NECESSARY, PRIOR TO DESIGN FOR CONSTRUCTION OF ANY PROPOSED EXPANSION OR CONNECTION OF BUILDING COMPONENTS.
2. FOR CLARITY PURPOSES, SURVEY SPOT ELEVATIONS ARE NOT SHOWN ON THIS SURVEY, BUT ARE CONTAINED WITHIN THE DIGITAL CADD FILES.
3. FOR THE PURPOSE OF THIS SURVEY, STORM SEWER, SANITARY SEWER AND WATER MAIN LINES ARE ASSUMED TO FOLLOW A STRAIGHT LINE FROM STRUCTURE TO STRUCTURE.
4. UTILITY SERVICE LINES TO BUILDINGS ARE APPROXIMATE ONLY. AN INTERNAL BUILDING INVESTIGATION, EXCAVATION AND/OR SUBSURFACE LOCATING/DENIGNATING WOULD NEED TO BE PERFORMED TO DETERMINE THE LOCATION OF SERVICES ENTERING THE BUILDING.
5. UNDERGROUND PIPE MATERIALS AND SIZES ARE BASED UPON VISIBLE EVIDENCE VIEWED FROM ACCESS MANHOLES/STRUCTURES. DUE TO THE CONFIGURATION AND/OR CONSTRUCTION OF THE STRUCTURE, IT MAY BE DIFFICULT TO ACCURATELY DETERMINE THE PIPE MATERIAL AND/OR SIZE. THE SURVEYOR WILL USE THEIR JUDGMENT AND EXPERIENCE TO ATTEMPT TO DETERMINE, BUT COMPLETE ACCURACY CANNOT BE GUARANTEED.
6. BOUNDARY LINES SHOWN ON THE EXISTING SITE SURVEY ARE TO FACILITATE DESIGN OR CONCEPT NEEDS AND ENABLE CREATION OF SAID CONSTRUCTION DOCUMENTS. THESE LINES DO NOT CONSTITUTE A CERTIFIED BOUNDARY SURVEY AND MISSING MONUMENTS WILL NOT BE SET.

PROPERTY ADDRESS

LOCATED AT THE NORTHEAST CORNER OF 9TH STREET AND AVENUE K

ZONING

R-2, URBAN RESIDENTIAL MIXED DENSITY DISTRICT

BULK REGULATIONS

FRONT YARD SETBACK: 25'
DETACHED SIDE YARD SETBACK: 10'
STREET SIDE YARD SETBACK: 15'
REAR YARD SETBACK: 25'

PARKING REQUIREMENTS

DWELLING, MULTI-FAMILY
2 SPACES PER 1-BEDROOM UNIT
2 SPACES PER 2-BEDROOM UNIT
= 54 UNITS X 2 SPACES = 108 SPACES TOTAL REQUIRED
108 SPACES PROVIDED (102 STALLS + 6 ADA ACCESSIBLE STALLS)

UTILITY CONTACT INFORMATION

UTILITY CONTACT FOR MAPPING INFORMATION SHOWN AS RECEIVED FROM THE IOWA ONE CALL DESIGN REQUEST SYSTEM, TICKET NUMBER 552503660.

{ CLC } CARTER LAKE, CITY OF
Company name: CARTER LAKE, CITY OF
Design contact: BOB MCLOUD
Phone: 4026101069
Email: CLMAINTENANCE@CARTERLAKE-IA.GOV

{ COX } COX COMMUNICATIONS
Company name: COX COMMUNICATIONS
Design contact: JEREMY DIXON
Phone: 4052135142
Email: JEREMY.DIXON@COX.COM

{ CTLA01 } CENTURYLINK
Company name: CENTURYLINK
Design contact: SADIE HULL
Phone: 9185470147
Email: sadie.hull@lumen.com

{ MUD } METROPOLITAN UTILITIES DISTRICT
Company name: METROPOLITAN UTILITIES DISTRICT
Design contact: Steve Slezak
Phone: 4025047760
Email: steve_slezak@muonebr.com

{ OPP } OMAHA PUBLIC POWER DISTRICT
Company name: OMAHA PUBLIC POWER DISTRICT
Design contact: Gerald J Hakenholz
Phone: 4025525470
Email: ghakenholz@oppd.com

{ P17 } BLACK HILLS ENGY COUNCIL BLUFF
Company name: BLACK HILLS ENGY COUNCIL BLUFF
Design contact: Chris Dewey
Phone: 7125806028
Email: chris.dewey@blackhillscorp.com

CONTROL POINTS

IOWA REGIONAL COORDINATE SYSTEM ZONE 6 (COUNCIL BLUFFS)
NAD83(2011)(EPOCH 2010.00) IARTN DERIVED - US SURVEY FEET

- CP1 N=6977803.06 E=16449707.87 Z=979.18
SET 1/2" REBAR WITH RED SNYDER CONTROL CAP (AS SHOWN ON SURVEY)
CP2 N=6977833.78 E=16449220.96 Z=974.84
SET 1/2" REBAR WITH RED SNYDER CONTROL CAP (AS SHOWN ON SURVEY)
CP3 N=6978449.68 E=16449219.89 Z=976.19
SET 1/2" REBAR WITH RED SNYDER CONTROL CAP (AS SHOWN ON SURVEY)
CP4 N=6978513.28 E=16449674.70 Z=976.84
SET 1/2" REBAR WITH RED SNYDER CONTROL CAP (AS SHOWN ON SURVEY)

BENCHMARKS

NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88 - GEOID12A)
IARTN DERIVED - US SURVEY FEET

- BM500 ELEV=981.08
ARROW HEAD OF FIRE HYDRANT
BM501 ELEV=975.92
CENTER OF NO DUMPING ALUMINUM DISK

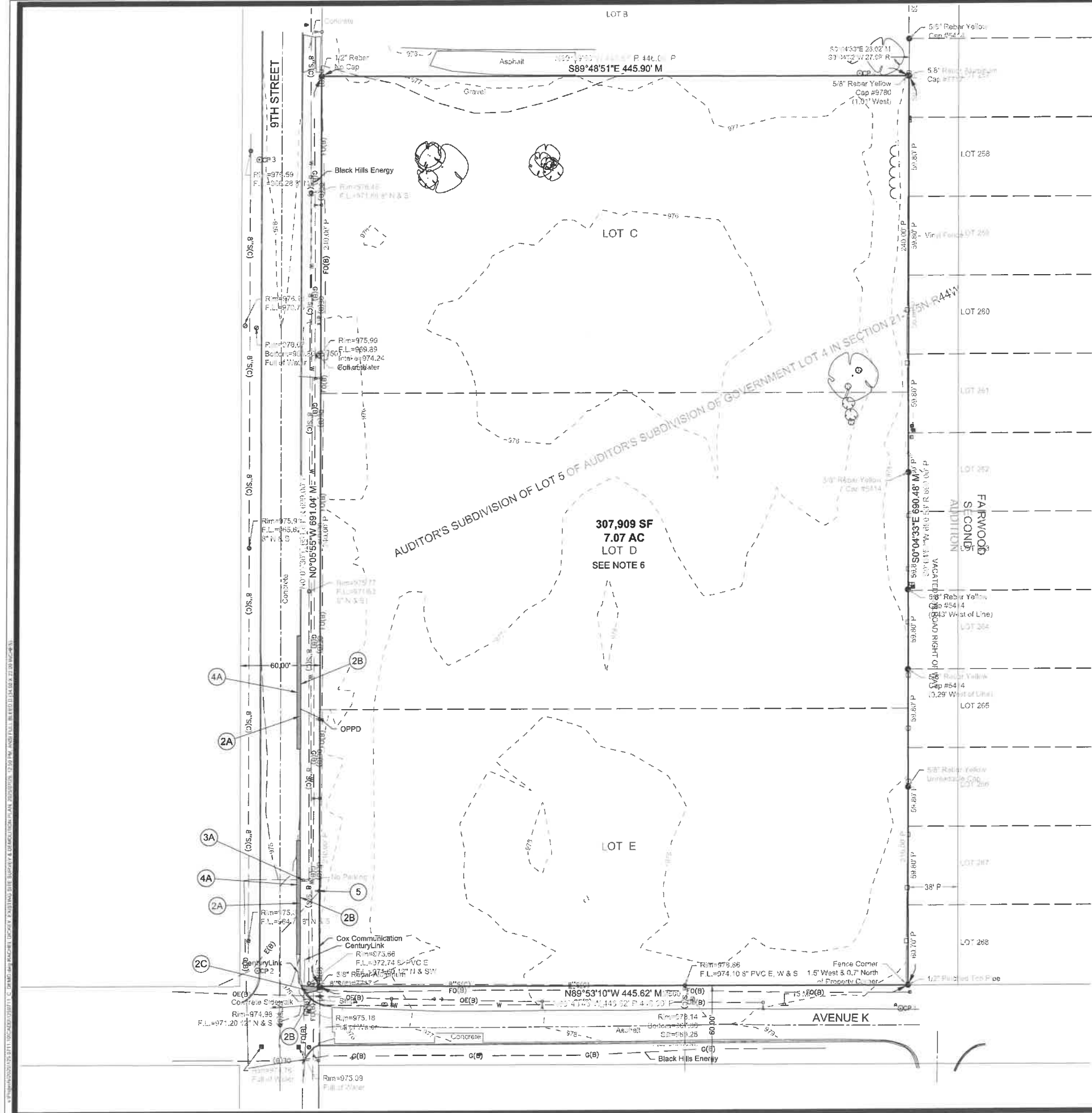
DATE OF SURVEY

JUNE 23, 2025

Table with columns: REVISION, DATE, BY, Scale: 1" = NONE, P-R-S: 75N-44W-21, Project No: 125.0711.10, Sheet C2

CARTER LAKE, IOWA
GENERAL INFORMATION
SNYDER & ASSOCIATES, INC.
231 BENNETT AVENUE
COUNCIL BLUFFS, IOWA 51503
712-322-3202 | www.snyder-associates.com

IOWA ONE CALL logo
SNYDER & ASSOCIATES logo
Project No: 125.0711.10
Sheet C2



- DEMOLITION PLAN NOTES**
- EXISTING FEATURES, PROTECT THE FOLLOWING:
 - PAVEMENT TO REMAIN.
 - EXISTING UTILITIES. COORDINATE ANY RELOCATIONS OR ADJUSTMENTS WITH UTILITY SERVICE PROVIDER AS NECESSARY.
 - REMOVAL AND DISPOSAL OF THE FOLLOWING:
 - PCC PAVEMENT.
 - CURB.
 - PCC SIDEWALK RAMP.
 - REMOVAL AND REPLACEMENT OF THE FOLLOWING:
 - "NO PARKING" STREET SIGN, COORDINATE NEW LOCATION WITH CITY OF CARTER LAKE.
 - SAWCUT THE FOLLOWING LOCATIONS:
 - ALONG 9TH STREET.
 - RELOCATION OF 1 POWER POLE TO BE COMPLETED BY OPPD. CONTRACTOR TO COORDINATE AS NEEDED.
 - REFERENCE THE NEW PLAT FOR FINAL INTERIOR LOT LINE LOCATIONS.

MARK	REVISION	DATE	BY

THE RESIDENCE AT CARTER LAKE
EXISTING SITE SURVEY & DEMOLITION PLAN
SNYDER & ASSOCIATES, INC. I

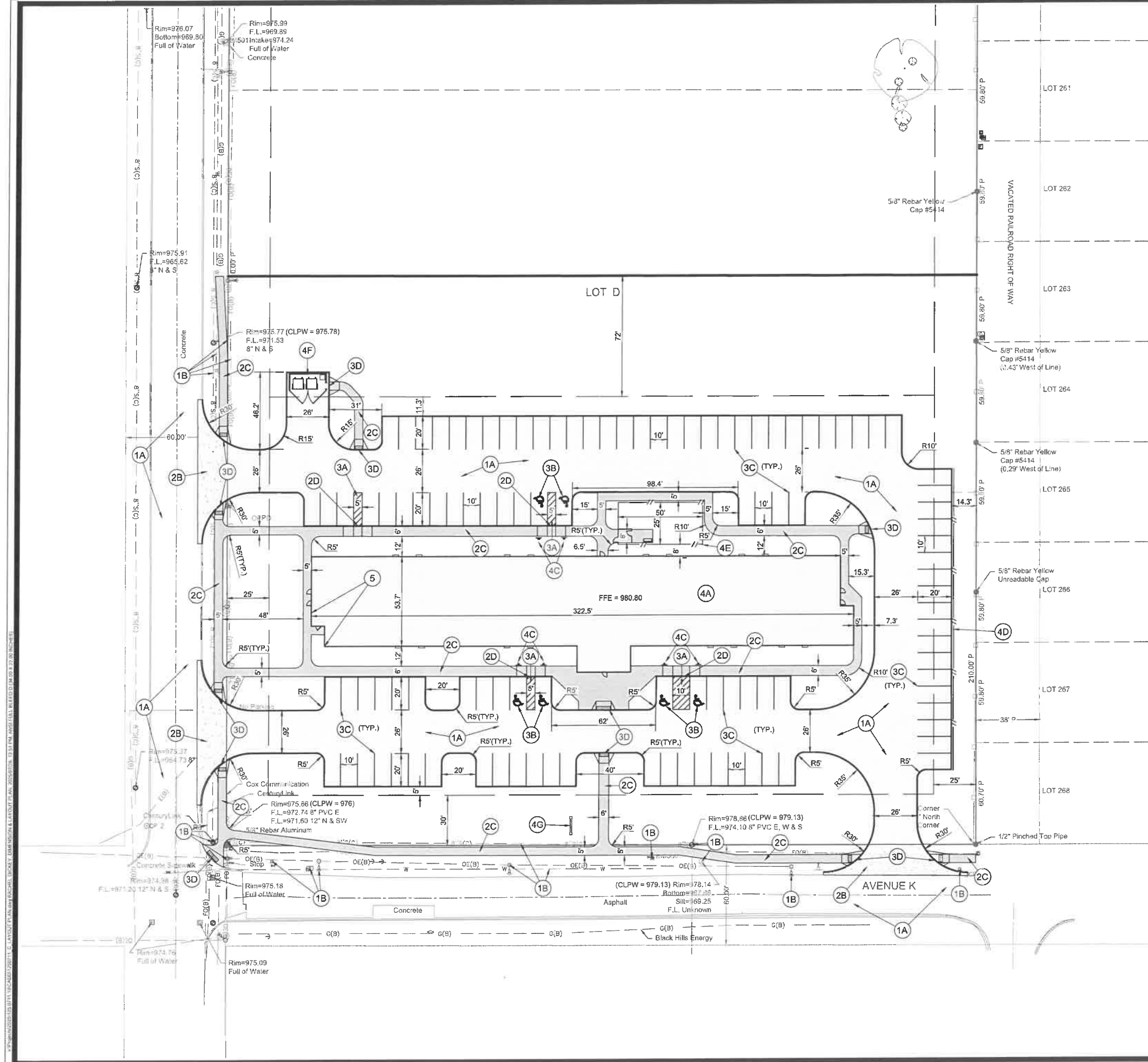
CARTER LAKE, IOWA

231 BENNETT AVENUE
 COUNCIL BLUFFS, IOWA 51503
 712-322-3202 | www.snyder-associates.com

SNYDER & ASSOCIATES

Project No: 125.0711.10
 Sheet C3





- DIMENSION PLAN CONSTRUCTION NOTES**
- EXISTING FEATURES. PROTECT THE FOLLOWING:
 - PAVEMENT TO REMAIN.
 - EXISTING UTILITIES. COORDINATE ANY RELOCATIONS OR ADJUSTMENTS WITH UTILITY SERVICE PROVIDER AS NECESSARY.
 - PAVEMENTS, PROVIDE THE FOLLOWING:
 - 6" DEPTH PCC ON 12" PREPARED SUBGRADE.
 - 7" DEPTH PCC ON 12" PREPARED SUBGRADE TO R.O.W. LINE.
 - 4" DEPTH PCC SIDEWALK ON 6" DEPTH PREPARED SUBGRADE.
 - CURB DROP.
 - PAVEMENT MARKINGS, PROVIDE THE FOLLOWING:
 - PAINTED ACCESSIBLE AISLE. 45° STRIPING AT 3' ON CENTER.
 - ACCESSIBLE SYMBOL AS PER ADA STANDARDS.
 - YELLOW 4" WIDE PAINTED PARKING STALL LINES.
 - ACCESSIBLE PCC CURB RAMP WITH DETECTABLE WARNING PANEL AS PER ADA STANDARDS.
 - PROVIDE THE FOLLOWING SITE IMPROVEMENTS WHERE SHOWN ON PLAN:
 - BUILDING; SEE ARCHITECTURAL PLANS FOR DETAILS.
 - REFER TO THE MEP PLANS FOR UTILITIES CONNECTING INTO THE BUILDING.
 - VAN ACCESSIBLE PARKING SIGNAGE AS PER ADA STANDARDS.
 - 6' TALL SCREENING FENCE.
 - 4' TALL ALLUM. FENCE TO SURROUND DOG PARK; SEE ARCHITECTURAL PLANS FOR DETAIL.
 - TRASH ENCLOSURE WITH FENCE & GATE; SEE ARCHITECTURAL PLANS FOR DETAIL.
 - MONUMENT SIGN; SEE ARCHITECTURAL PLANS FOR DETAIL.
 - SEE UTILITY SHEET FOR WATER SERVICE, STORM SEWER AND SANITARY SEWER INFORMATION.

- 6" DEPTH PCC ON 12" PREPARED SUBGRADE
- 7" DEPTH PCC ON 12" PREPARED SUBGRADE TO R.O.W. LINE
- 4" DEPTH PCC SIDEWALK ON 6" DEPTH PREPARED SUBGRADE

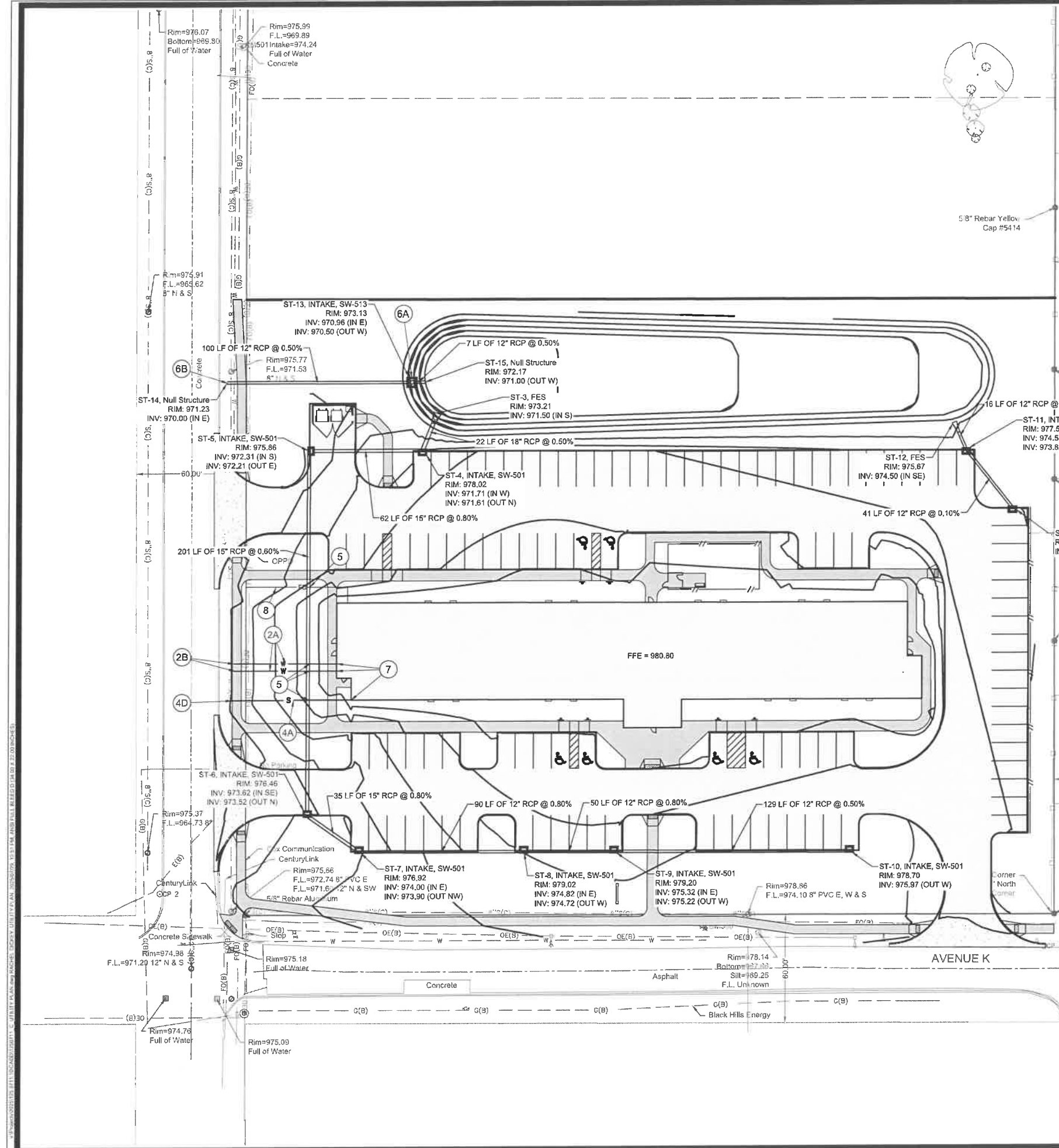


MARK	REVISION	DATE	BY
	Checked By: CHKD	Scale: 1" = 30'	
	Engineer: EDH	Date: 07/25/2025	T-R-S: 750-444-21
	Technician: RMD		

CARTER LAKE, IOWA
 231 BENNETT AVENUE
 COUNCIL BLUFFS, IOWA 51503
 712-325-3202 | www.snyder-associates.com

THE RESIDENCE AT CARTER LAKE
DIMENSION & LAYOUT PLAN
SNYDER & ASSOCIATES, INC. I





- UTILITY CONSTRUCTION NOTES**
- EXISTING FEATURES, PROTECT THE FOLLOWING:
 - PROTECT EXISTING UTILITIES.
 - PROTECT EXISTING PAVEMENTS.
 - WATER SERVICE, PROVIDE THE FOLLOWING:
 - XX" WATER SERVICE. COORDINATE BUILDING CONNECTION WITH ARCHITECTURAL PLANS. SEE WATER WORKS STANDARD XX" SERVICE DETAIL FOR ADDITIONAL INFORMATION. APPROXIMATELY XX' FROM BUILDING CONNECTION TO WATER MAIN CONNECTION.
 - CONNECT TO EXISTING WATER MAIN WITH XX" TAPPING VALVE AND SLEEVE. ALL WORK UP TO THE CURB STOP MUST BE COMPLETED WITH WATER WORKS INSPECTOR PRESENT. ALL WATER MAIN SHALL BE COMPLETED TO WATER WORKS STANDARDS.
 - CURB STOP AND BOX. SEE WATER WORKS STANDARD 1" SERVICE DETAIL FOR ADDITIONAL INFORMATION.
 - STORM AND SANITARY IMPROVEMENTS SHALL BE PROVIDED AND INSTALLED PER SUDAS STANDARD SPECIFICATIONS.
 - SANITARY SEWER, PROVIDE THE FOLLOWING:
 - XX" SANITARY SEWER SERVICE LINE. APPROXIMATELY XX' FROM BUILDING CONNECTION TO EXISTING SANITARY SEWER CONNECTION.
 - XX" CLEANOUT PER SUDAS STANDARD SPECIFICATIONS SECTION 4010.
 - MAINTAIN 18" MINIMUM SEPARATION FROM WATER SERVICE. PLACE SANITARY SERVICE LOWER THAN WATER SERVICE IF POSSIBLE.
 - CONNECT TO EXISTING 8" SANITARY SEWER WITH PREFORMED WYE OR SADDLE WYE PER SUDAS STANDARD SPECIFICATIONS SECTION 4010.
 - CRITICAL CROSSING. MAINTAIN 18" MIN. SEPARATION. VERIFY CROSSING WITH EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - STORM SEWER IMPROVEMENTS, PROVIDE THE FOLLOWING:
 - SEE SHEET C10 FOR OUTLET STRUCTURE DETAILS.
 - CONNECT TO EXISTING 8" STORM SEWER PIPE WITH CONCRETE COLLAR. VERIFY LOCATION, DEPTH AND SIZE PRIOR TO CONSTRUCTION.
 - CONNECT SANITARY AND WATER TO BUILDING SERVICE. COORDINATE SIZE, LOCATION, AND ELEVATION WITH MECHANICAL PLANS PRIOR TO CONSTRUCTION.
 - ESTIMATED LOCATION OF ELECTRICAL TRANSFORMER AND CONDUIT LINES, FINAL LOCATION TO BE DETERMINED BY OPPD.



MARK	REVISION	DATE	BY
	Checked By: CHKD	Scale: 1" = 30'	
	Engineer: EDH	Date: 07/25/2025	P-R-S: 75N-44W-21
	Technician: RMD		
Project No: 125.0711.10			Sheet C5

THE RESIDENCE AT CARTER LAKE

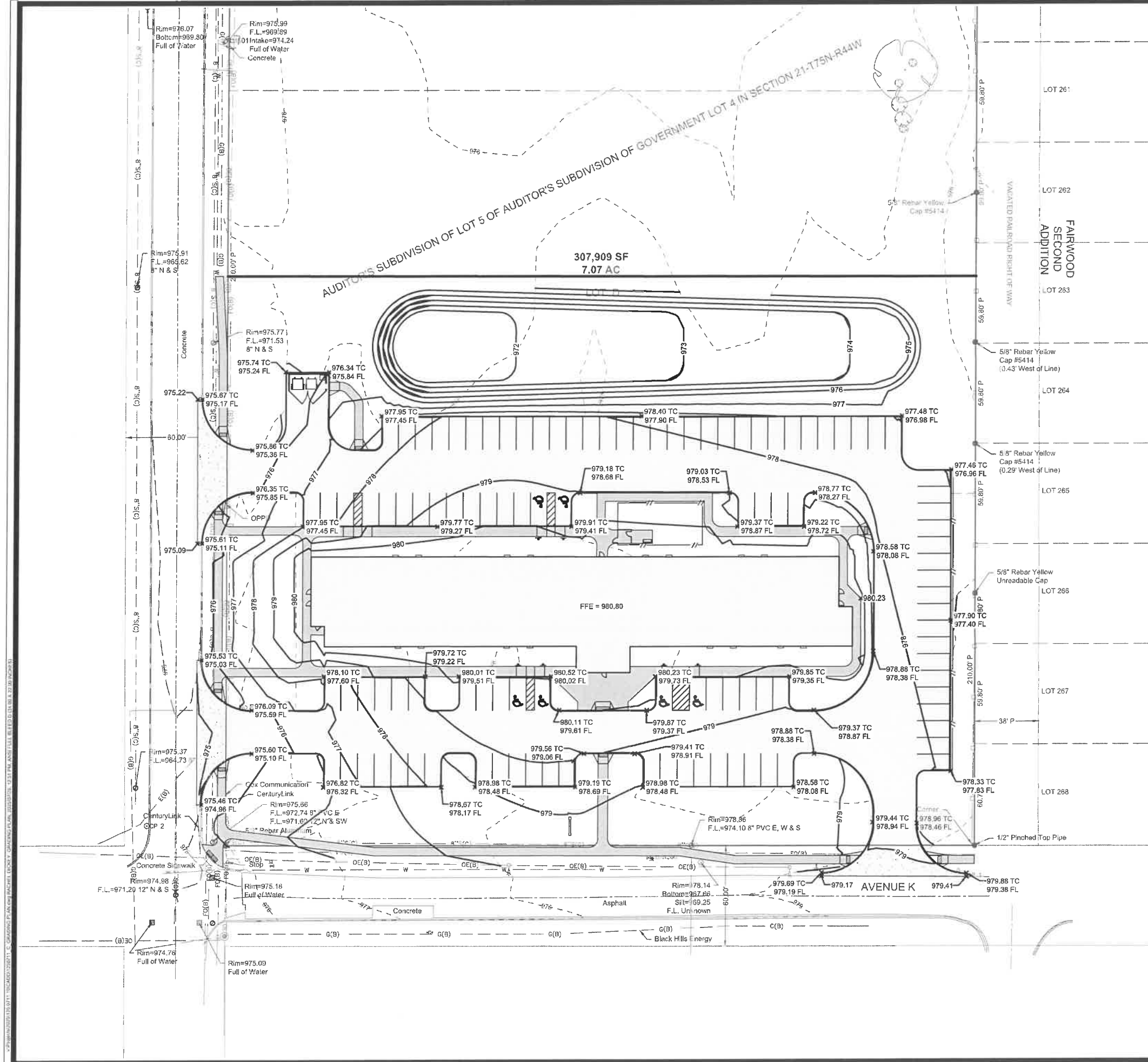
UTILITY PLAN

SNYDER & ASSOCIATES, INC.

231 BENNETT AVENUE
COUNCIL BLUFFS, IOWA 51503
712-322-3302 | www.snyder-associates.com

Project No: 125.0711.10

Sheet C5



- GRADING PLAN NOTES**
1. CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL ON ALL AREAS TO BE CUT OR FILLED. RE-SPREAD TO MINIMUM 6" DEPTH TO FINISH GRADES.
 2. ANY EXCESS CUT TO BE SPREAD ON SITE AS DIRECTED BY ENGINEER DURING CONSTRUCTION. PLACE TOPSOIL OVER ALL AREAS DISTURBED.
 3. GRADES SHOWN ARE FINISHED GRADE AND/OR TOP OF PAVING SLAB (GUTTER), UNLESS OTHERWISE NOTED.
- SPOT ELEVATIONS INDICATE TOP OF SLAB, FINISH FLOOR ELEVATION, OR FINISH GRADE, UNLESS OTHERWISE NOTED.
 TC= TOP OF CURB
 FL= FLOW LINE
 FFE= FINISHED FLOOR ELEVATION

MARK	REVISION	DATE	BY
	Checked By: CHKO	Scale: 1" = 30'	
	Engineer: EDH	Date: 07/25/2025	
	Technician: RMD		
Project No: 125.0711.10			Sheet C6


CARTER LAKE, IOWA

231 BENNETT AVENUE
 COUNCIL BLUFFS, IOWA 51503
 712-322-3202 | www.snyder-associates.com

THE RESIDENCE AT CARTER LAKE

GRADING PLAN

SNYDER & ASSOCIATES, INC.



Project No: 125.0711.10

Sheet C6



MAINTENANCE SCHEDULE

THE FOLLOWING MAINTENANCE SCHEDULE HAS BEEN PROVIDED. THE INSPECTOR MUST PERFORM THE INSPECTIONS. THE OPERATOR/CONTRACTOR MUST PERFORM ALL NEEDED MAINTENANCE. FURTHERMORE, ALL EROSION CONTROL FEATURE REQUIRING MAINTENANCE MAY NOT BE LISTED BELOW. THE OPERATOR/CONTRACTOR AND INSPECTOR MUST PERFORM THEIR RESPECTIVE DUTIES ON ALL BMP'S THAT ARE NOT LISTED BELOW AS WELL.

1. CONSTRUCTION ENTRANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR THE WASHING AND REWORKING OF EXISTING STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY. THE USE OF WATER TRUCKS TO REMOVE MATERIALS DROPPED, WASHED, OR TRACKED ONTO ROADWAYS WILL NOT BE PERMITTED UNDER ANY CIRCUMSTANCES.
2. STRAW BALE BARRIER - THE MAINTENANCE MEASURES ARE AS FOLLOWS: (2.1) STRAW BALE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL; (2.2) CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BALES, END RUNS AND UNDERCUTTING BENEATH BALES; (2.3) NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BALES SHALL BE ACCOMPLISHED PROMPTLY; (2.4) SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER; AND (2.5) ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE STRAW BALE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.
3. SILT FENCE - THE MAINTENANCE MEASURES ARE AS FOLLOWS: (3.1) SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL, ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY; (3.2) CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED SILT FENCE RESULTING FROM END RUNS AND UNDERCUTTING; (3.3) SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY; (3.4) SEDIMENT DEPOSITS MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER; AND (3.5) ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.
4. STORM DRAIN INLET PROTECTION - THE MAINTENANCE MEASURES ARE AS FOLLOWS: (4.1) STRUCTURES SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NECESSARY AND (4.2) STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE REMAINING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
5. TEMPORARY DIVERSION DIKE - THE MEASURE SHALL BE INSPECTED AFTER EVERY STORM AND REPAIRS MADE TO THE DIKE, FLOW CHANNEL, OUTLET OR SEDIMENT TRAPPING FACILITY, AS NECESSARY. ONCE EVERY TWO WEEKS, WHETHER A STORM EVENT HAS OCCURRED OR NOT, THE MEASURE SHALL BE INSPECTED AND REPAIRS MADE IF NEEDED. DAMAGES CAUSED BY CONSTRUCTION TRAFFIC OR OTHER ACTIVITY MUST BE REPAIRED BEFORE THE END OF EACH WORKING DAY.
6. TEMPORARY FILL DIVERSION - SINCE THE PRACTICE IS TEMPORARY AND UNDER MOST SITUATIONS WILL BE COVERED THE NEXT WORKING DAY, THE MAINTENANCE REQUIRED SHOULD BE LOW, IF THE PRACTICE IS TO REMAIN IN USE FOR MORE THAN ONE DAY, AN INSPECTION SHALL BE MADE AT THE END OF EACH WORK DAY AND REPAIRS MADE TO THE MEASURE IF NEEDED. THE OPERATOR/CONTRACTOR SHOULD AVOID THE PLACEMENT OF ANY MATERIAL OVER THE STRUCTURE WHILE IT IS IN USE. CONSTRUCTION TRAFFIC SHOULD NOT BE PERMITTED TO CROSS THE DIVERSION.
7. TEMPORARY SEDIMENT TRAP - THE MAINTENANCE MEASURES ARE AS FOLLOWS: (7.1) SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE HALF THE DESIGN VOLUME OF THE WET STORAGE, SEDIMENT REMOVAL FROM THE BASIN SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE AND CAUSE SEDIMENTATION PROBLEMS; (7.2) FILTER STONE SHALL BE REGULARLY CHECKED TO ENSURE THAT FILTRATION PERFORMANCE IS MAINTAINED, STONE CHOKED WITH SEDIMENT SHALL BE REMOVED AND CLEANED OR REPLACED; AND (7.3) THE STRUCTURE SHOULD BE CHECKED REGULARLY TO ENSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT, THE HEIGHT OF THE STONE OUTLET SHOULD BE CHECKED TO ENSURE THAT ITS CENTER IS AT LEAST 1 FOOT BELOW THE TOP OF THE EMBANKMENT.
8. TEMPORARY SEDIMENT BASIN - THE BASIN EMBANKMENT SHOULD BE CHECKED REGULARLY TO ENSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT. THE EMERGENCY SPILLWAY SHOULD BE CHECKED REGULARLY TO ENSURE THAT ITS LINING IS WELL ESTABLISHED AND EROSION-RESISTANT. THE BASIN SHOULD BE CHECKED AFTER EACH RUNOFF PRODUCING RAINFALL FOR SEDIMENT CLEANOUT AND TRASH REMOVAL. WHEN THE SEDIMENT REACHES THE CLEANOUT LEVEL, IT SHALL BE REMOVED AND PROPERLY DISPOSED OF.
9. TEMPORARY SEEDING - AREAS WHICH FAIL TO ESTABLISH VEGETATIVE COVER ADEQUATE TO PREVENT RILL EROSION WILL BE RE-SEEDED AS SOON AS SUCH AREAS ARE IDENTIFIED. CONTROL WEEDS BY MOWING.
10. PERMANENT SEEDING - THE MAINTENANCE MEASURES ARE AS FOLLOWS: (10.1) IN GENERAL, A STAND OF VEGETATION CANNOT BE DETERMINED TO BE FULLY ESTABLISHED UNTIL IT HAS BEEN MAINTAINED FOR ONE FULL YEAR AFTER PLANNING; (10.2) NEW SEEDLINGS SHALL BE SUPPLIED WITH ADEQUATE MOISTURE, SUPPLY WATER AS NEEDED, ESPECIALLY LATE IN THE SEASON, IN ABNORMALLY HOT OR DRY CONDITIONS, OR ON ADVERSE SITES, WATER APPLICATIONS SHALL BE CONTROLLED TO PREVENT EXCESSIVE RUNOFF; (10.3) INSPECT ALL SEEDED AREAS FOR FAILURES AND MAKE NECESSARY REPAIRS, REPLACEMENTS, AND RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE; [10.3.A] IF STAND IS INADEQUATE FOR EROSION CONTROL, OVER SEED AND FERTILIZE USING HALF OF THE RATES ORIGINALLY SPECIFIED; [10.3.B] IF STAND IS 60% DAMAGED, RE-ESTABLISH FOLLOWING SEEDBED AND SEEDING RECOMMENDATIONS; [10.3.C] IF STAND HAS LESS THAN 40% COVER, RE-EVALUATE CHOICE OF PLANT MATERIALS AND QUANTITIES OF LIME AND FERTILIZER, THE SOIL MUST BE TESTED TO DETERMINE IF ACIDITY OR NUTRIENT IMBALANCES ARE RESPONSIBLE, RE-ESTABLISH THE STAND FOLLOWING SEEDBED AND SEEDING RECOMMENDATIONS.
11. MULCHING - ALL MULCHES AND SOIL COVERINGS SHOULD BE INSPECTED PERIODICALLY (PARTICULARLY AFTER RAINSTORMS) TO CHECK FOR EROSION. WHERE EROSION IS OBSERVED IN MULCHED AREAS, ADDITIONAL MULCH SHOULD BE APPLIED. NETS AND MATS SHOULD BE INSPECTED AFTER RAINSTORMS FOR DISLOCATION OR FAILURE. IF WASHOUTS OR BREAKAGE OCCUR, REINSTALL NETTING OR MATTING AS NECESSARY AFTER REPAIRING DAMAGE TO THE SLOPE OR DITCH. INSPECTIONS SHOULD TAKE PLACE UNTIL GRASSES ARE FIRMLY ESTABLISHED. WHERE MULCH IS USED IN CONJUNCTION WITH ORNAMENTAL PLANTINGS, INSPECT PERIODICALLY THROUGHOUT THE YEAR TO DETERMINE IF MULCH IS MAINTAINING COVERAGE OF THE SOIL SURFACE; REPAIR AS NEEDED.
12. SOIL STABILIZATION BLANKETS & MATTING - ALL SOIL STABILIZATION BLANKETS AND MATTING SHOULD BE INSPECTED PERIODICALLY FOLLOWING INSTALLATION, PARTICULARLY AFTER RAINSTORMS TO CHECK FOR EROSION AND UNDERMINING. ANY DISLOCATION OR FAILURE SHOULD BE REPAIRED IMMEDIATELY. IF WASHOUTS OR BREAKAGE OCCURS, REINSTALL THE MATERIAL AFTER REPAIRING DAMAGE TO THE SLOPE OR DITCH. CONTINUE TO MONITOR THESE AREAS UNTIL WHICH TIME THEY BECOME PERMANENTLY STABILIZED; AT THAT TIME AN ANNUAL INSPECTIONS SHOULD BE ADEQUATE.
13. STREET CLEANING / SWEEPING - THE MAINTENANCE MEASURES ARE AS FOLLOWS: (13.1) EVALUATE ACCESS POINTS DAILY FOR SEDIMENT TRACKING; (13.2) WHEN TRACKED OR SPILLED SEDIMENT IS FOUND ON PAVED SURFACES, IT WILL BE REMOVED DAILY, DURING TIMES OF HEAVY TRACK-OUT, SUCH AS DURING RAINS, CLEANING MAY BE DONE SEVERAL TIMES THROUGHOUT THE DAY; (13.3) UNKNOWN SPILLS OR OBJECTS WILL NOT BE MIXED WITH THE SEDIMENT; AND (13.4) IF SEDIMENT IS MIXED WITH OTHER POLLUTANTS, IT WILL BE DISPOSED OF PROPERLY AT AN AUTHORIZED LANDFILL.

CONSTRUCTION ACTIVITIES & SCHEDULING

ACTIVITY	SCHEDULE
INSTALL ALL BMP'S NEEDED AND ASSOCIATED WITH THE GRADING PHASE SUCH AS STABILIZED CONSTRUCTION ENTRANCES, SILT BASINS, RISER PIPES, OUTLET PIPES, SILT TRAPS, SILT FENCE, DIVERSIONS, TERRACES, AND ETCETERA.	PRIOR TO ANY STRIPPING OF EXISTING VEGETATION OR GRADING.
PROCEED WITH STRIPPING OF EXISTING VEGETATION AND GRADING IN ACCORDANCE WITH THE GRADING PLAN, WHILE DISTURBING NO MORE THAN NECESSARY.	AFTER INSTALLING ALL BMP'S NEEDED AND ASSOCIATED WITH THE GRADING PHASE. FURTHERMORE, INSPECTOR APPROVAL MUST BE OBTAINED BEFORE THE START OF ANY STRIPPING OF EXISTING VEGETATION OR GRADING.
PROCEED WITH INFRASTRUCTURE INSTALLATION.	INFRASTRUCTURE INSTALLATION MUST OCCUR PRIOR TO ANY LOT DEVELOPMENT.
IMPLEMENT THE INSTALLATION OF PERMANENT SEEDING, AND/OR MULCHING, MATTING.	STABILIZATION MEASURES MUST BE INITIATED AS SOON AS POSSIBLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
IMPLEMENT THE INSTALLATION ALL BMP'S NEEDED AND ASSOCIATED WITH THE BUILDING PHASE.	BUILDING PHASE BMP'S MUST BE INSTALLED CONCURRENTLY WITH LOT DEVELOPMENT.
PROCEED WITH REMOVAL OF BMP'S.	BMP'S MAY NOT BE REMOVED UNTIL EACH IMPACTED DRAINAGE BASIN HAS BEEN FULLY DEVELOPED. FULL DEVELOPMENT SHALL MEAN INSTALLATION OF PAVEMENT, BUILDINGS, AND UTILITIES, LANDSCAPING, AND FULLY ESTABLISHED PERMANENT SEEDING. FURTHERMORE, INSPECTOR APPROVAL MUST BE OBTAINED BEFORE THE REMOVAL OF ANY BMP'S.

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SWPPP NOTES

CARTER LAKE, IOWA

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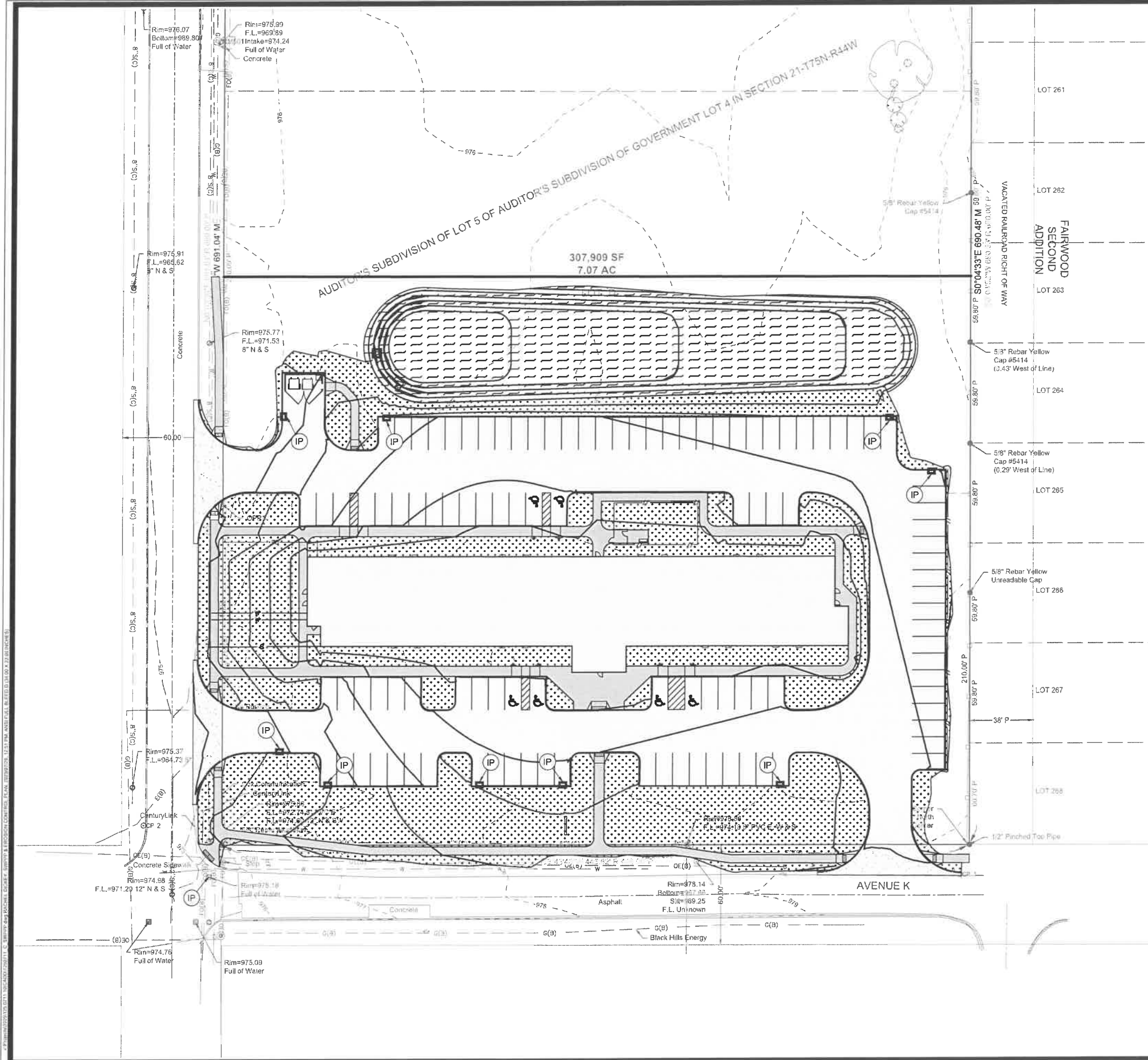
231 BENNETT AVENUE
COUNCIL BLUFFS, IOWA 51503
712-322-3202 | www.snyder-associates.com



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MARK	REVISION	DATE	BY
Engineer: EDH	Checked By: CHKD	Scale: 1" = 40'	
Technician: RMD	Date: 07/25/2025	TR-S-75N-44W-21	
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EROSION CONTROL NOTES

1. ALL DRAINAGE SWALES AND SLOPES 5 TO 1 OR GREATER TO BE SEEDED AND MATTED USING COMMERCIALY AVAILABLE EROSION CONTROL SEED. MIXTURE APPLIED AT RATE RECOMMENDED BY SUPPLIER.
2. EROSION CONTROL: SEED THE SITE AFTER ROUGH GRADING HAS BEEN COMPLETED. PLACE SILT FENCE AND MAINTAIN IN PROBLEM AREAS AFTER GROUND COVER HAS BEEN ESTABLISHED. COMPLY WITH EROSION CONTROL LAW.
3. PROVIDE BELOW GRADE INLET PROTECTION SUCH AS WATTLES OR SEDIMENT BASKETS IN PAVED AREAS FOLLOWING PAVING OPERATIONS.
4. CONTRACTOR TO INSTALL INLET PROTECTION PER SUDAS AT THE LOCATIONS INDICATED.

LEGEND

-  SEEDING - SUDAS TYPE 1 SEED MIX
-  SEEDING - SUDAS WETLAND MIX
-  6" EROSION CONTROL WATTLE
-  SILT FENCE
-  INLET PROTECTION

MARK	REVISION	DATE	BY
Engineer: EDH	Checked By: CHR	Scale: 1" = 30'	
Technician: RMD	Date: 07/25/2025	T-R-S: 75N-44W-21	
Project No: 125.0711.10			Sheet C8

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SWPPP & EROSION CONTROL PLAN
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