

**REGULAR PLANNING BOARD MEETING**  
**Monday, May 11, 2015 – 7:00 P.M.**  
**City Hall - 950 Locust St., Carter Lake, Iowa**

Roll Call

Approval of the Agenda

1. Consent Agenda
  - a. Review City Council Minutes – April 20, 2015.
  - b. Review Building Permits – April, 2015.
2. New Business
  - a. OMA Lodging LLC – Review project for site prep & layout, utilities, landscaping and foundations.
3. Old Business (limit discussion 5 minutes per topic)
  - a. Storm Water Committee Update.
4. Special Meetings
5. Assignments
6. Comments

Adjourn

05-07-15  
dm



The Pledge of Allegiance

Mayor Gerald Waltrip called the meeting to order at 7:00 PM.

- I. Roll Call: Present – Mayor Gerald Waltrip  
Council members Ed Aldmeyer, Dave Huey, Ron Cumberledge, Barb Hawkins and Barb Melonis.  
Also present – Attorney Joe Thornton and City Clerk Doreen Mowery
- II. Approval of the Agenda – The Storm Water Committee Update and Attorney Thornton – Easement Agreement were removed from the agenda. Moved by Council member Cumberledge seconded by council member Hawkins to approve the agenda with the deletions. Ayes: Unanimous.
- III. Consent agenda – Council member Cumberledge removed items G, H – 1 and I and placed them on the regular agenda for discussion and action. Moved by council member Melonis seconded by council member Huey to approve the consent agenda with the changes. Ayes: Unanimous.
- IV. New Business
  - A. Communications from the Public
    1. Moved by council member Cumberledge seconded by council member Melonis to approve renewal of the solid waste applications that have been submitted. Ayes: Unanimous.
    2. Rose Goodloff presented a copy of a DVD showing damage to her yard after a heavy rain last spring. She believes the runoff is from the new school. The school sent a representative and their insurance inspector to look at the property. Her insurance has also looked at the issue. Both of them believe the City is responsible for the runoff. Damage is being done to her shed. She would like to be put on the May agenda and she would like the council to look at the DVD so she can get a resolution to the problem. The Mayor stated that there is a problem and it was created by the school and the City allowed them to build the school with the elevation. Additionally, the ground has settled between her home and the school and there is some exposed rebar. The Mayor stated he will look at this problem. The Attorney stated that the problem is a school district issue. Mary Schomer lives on 13<sup>th</sup> Street and stated they have had runoff in their back yard since the demolished the old school. She was hoping that when the track is installed the land will be lowered to take care of the problem. The Mayor stated he will look at the problem.
    3. Lone Mountain Trucking has requested that Owen Parkway Circle be changed to Lone Mountain Road. The Mayor was going to suggest that it should be changed to Lone Mountain Lane and Motel Drive. Moved by council member Melonis seconded by council member Cumberledge to deny the request to change the name of the street. Ayes: Unanimous.



4. The Improvement Club requested to close Ave. Q between 8<sup>th</sup> and 9<sup>th</sup> St. on May 9<sup>th</sup> for a benefit. They will have a band and dinner. Moved by council member Hawkins seconded by council member Cumberledge to approve the request to close the street after 3:00 PM. Ayes: Unanimous. The Annual Dog Days event is tentatively scheduled for Aug. 22<sup>nd</sup>.
- B. Communications from the Departments
1. There was not a Fire Department Update at this time.
  2. Board member Pauly reported that the Planning Board met with the hotel developers to discuss storm water issues. The Board suggested that the development agreement should include a traffic study to see if stop lights could or should be installed at that entrance on Abbott Drive. The Mayor stated he will get a hold of the State and with Ray to take care of getting a traffic light. The board recently elected Ray Pauly as Chairman and Karen Fisher as Co-Chair. Council member Cumberledge reaffirmed that the board required a storm water plan for the school.
  3. There was not Storm Water Committee update at this time.
  4. Mayor Waltrip
    - a. The Mayor stated he talked to Barry Palmer and Ron Rothmeyer about the driveway at 180 Marina Court. He said the city should remove the driveway and then hire someone to replace the concrete. He stated the property owner cannot get his boat into the driveway because of the way it was poured. Council member Hawkins stated it is the fault of whoever poured his driveway. The Mayor stated that the building inspector said there was not anything on the permit about the driveway. The Mayor stated no one would pour it like that unless someone told him to do it that way. Henry Hinkle was building inspector at the time. The Attorney has looked at the issue and he does not see anything that the City did wrong. If the contractor was concerned at the time they could have held up the cement truck and asked the city for relief. The owner could have come forth right after it happened to have the city make it right. He does not see a legal obligation of the city to do anything at this time because he cannot find anything that the city did wrong. Council member Huey is concerned that this claim is for something that happened five years ago. The Mayor stated that it was because no one would listen to home owner. The Mayor believes we have a moral obligation to repair the driveway. Council member Aldmeyer stated the builder is the one that built the sidewalk and driveway wrong. Moved by council member Aldmeyer seconded by council member Melonis to deny the claim from the homeowner. Ayes: Aldmeyer, Hawkins, Huey, Melonis. Nays: Cumberledge.
    - b. The Mayor reported that he had maintenance repair the inlet on the canal on Shoal Drive. There was an 18 inch concrete culvert installed through two lots. During the larger rains water shoots out of the pipe into the canal. Maintenance repaired it by increasing the size of the pipe and pulled the wall back into place. He commended the maintenance crew on the excellent job that they did on the project.



- c. The Mayor reported that he raised \$10,000 for tables and chairs at the Senior Center. Every donor will receive a receipt and a letter for their donation to the meal site. He has had one company demonstrate chairs to the seniors. He will be completing the project at no cost to the City.
  - d. The Mayor reported that last year the State said that the weed spraying in the lake was started too late. Ron Rothmeyer has been working with the DNR to start spraying the weeds. There is a contract that the council is going to consider for this project. The Creighton row team is no longer using the lake because of the weeds. The Mayor has had the weed boat out mowing the sea weed. They have not been mowing very much because of the high winds.
- 5. Attorney Thornton – Easement Agreement was removed from the agenda.
  - 6. Shannon Dunlap has worked on the existing Animal Control Ordinances. She is suggesting several changes to the ordinances. The Mayor brought up an incident where two pit bulls climbed a fence and attacked another dog. One of the dogs was put to sleep and the other dog was returned to the owner with the stipulation that it is muzzled at all times when it is outside. Both dog owners were cited. The Mayor stated he put this on the agenda because he thinks the council should be aware of the situation. Brenda Parkhurst lives next door to the dog that was attacked. She witnessed the attack and tried to report it to the officer on duty and the officer did not take a report. Theresa Hawkins reported she is the person that called 911 because she witnessed the attack. She would like to know if a report was written and she would like to see the report. Bill Kuhn reported that the dog tried to attack him and his dog. He stated the Chief of Police hasn't done anything because it is the buddy system and they are all buddies. He is tired of the whole neighborhood. The Mayor stated he is going to get this under control. Liz Osborn reported that it was her dog that was attacked. She reported that both dogs did attack the first time, however one of the dogs was not as aggressive as the other. She does not feel the second incident should have ever happened. The Mayor assured her the city was going to tighten this up. Shannon Dunlap reported that the dogs are registered as lab mix not pit bulls. Council member Melonis requested the council review the documentation submitted by Shannon. The ordinance changes will be placed on the May agenda for first consideration.
  - 7. Ron Rothmeyer has been working with Iowa DNR on a Lake Management Contract. The Attorney has reviewed the contract and recommends council approval. Moved by council member Aldmeyer seconded by council member Hawkins to approve the Lake Management Contract as submitted. Ayes: Unanimous.
  - 8. Ron Cumberledge addressed the items he pulled from the consent agenda. Item G includes 3 hours overtime for training for the Fire Department Coordinator. Council member Melonis requested a credible reason as to why they have the overtime. Moved by council member Cumberledge seconded by council member Melonis to deny payment of overtime for training. Ayes: Huey, Cumberledge and Melonis. Nays: Aldmeyer, Hawkins. Council member Cumberledge explained that Item H included a 25 year longevity pay



increase for Ron Rothmeyer. Council member Cumberledge thought he made himself clear that he wants all of the monthly reports current and submitted on time. He especially would like a report from the Building Inspector. Council member Melonis complimented everyone who has submitted the reports. Moved by council member Melonis seconded by council member Huey to approve and place on file the items that were removed from the consent agenda. Ayes: Unanimous.

V. Ordinances

A. Moved by council member Huey seconded by council member Melonis to approve an ordinance designating certain streets as Truck Routes on the second consideration. Ayes: Unanimous.

VI. Resolutions

- A. Moved by council member Cumberledge seconded by council member Melonis to adopt a resolution approving a tax abatement at 4407 N. 7<sup>th</sup> St. Ayes: Unanimous.
- B. Moved by council member Melonis seconded by council member Cumberledge to adopt a resolution approving a tax abatement at 3005 Nakoma Lane. Ayes: Unanimous.
- C. Moved by council member Melonis seconded by council member Cumberledge to adopt a resolution approving a tax abatement at 3005 Nakoma Lane. Ayes: Unanimous.

VII. Comments

The Mayor read a document regarding the induction of Brian Poldberg into the Thomas Jefferson Hall of Fame in Council Bluffs, Iowa.

Council member Melonis congratulated Brian Poldberg and all of our citizens that accomplish good things in their lives. She does not think it is too much to expect that incidents are handled properly and reports are filed properly.

Council member Cumberledge thanked everyone for attending the meeting. He encouraged everyone to take advantage of the Library, Senior Center, Parks and Resource Center.

Council member Huey reminded everyone that the community wide garage sale is May 9<sup>th</sup> and the community wide clean up is May 16<sup>th</sup>. He also announced that Phill Newton has completed 20 years of service on the Fire Department.

Bob Wahl offered to donate \$150 to the Senior Center fund for tables and chairs.

R. J. Brown reminded the Mayor he hasn't heard much about Carter Lake using the Pottawattamie County Animal Shelter. He wants to make sure citizens get a fair shot when they are not guilty.

Mary Schomer wanted clarification on the 24 hour notice for posting council agendas.

John Wallace is opposed to the three incidents before a vicious dog is removed. He thinks it should be done quicker.

Sharon Paterson wanted to know if the Inside Carter Lake edition can be delivered prior to the beginning of the month. Council member Melonis



City of Carter Lake  
City Hall – 950 Locust St.  
Proceedings: Monday, April 20, 2015  
Regular City Council Meeting – 7:00 PM

explained that the council is working to make the edition electronic so people will get all of the information in a more timely fashion.

The meeting was adjourned at 8:23 PM.

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Doreen Mowery, City Clerk

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Gerald Waltrip, Mayor



2015 April

Residential Building Permits

Permit #	Date	Applicant	Applicant Phone	Address	Property Owner	Owner Phone	Description	Permit Amount	Date Paid	Recpt. #	Value of Permit	Permit Exp. Date
R52-15	04/01/15	Ken/Kelcie Chlupacek	402-639-4117	17 CLC	Ken/Kelcie Chlupacek	402-639-4117	New 10' X 28' Driveway	\$ 23.00	04/01/15	14344	\$ 2,000.00	07/01/15
R53-15	04/02/15	James/Sharon Allen	712-347-5542	3714 N 17th	James/Sharon Allen	712-347-5542	Accessory Building	\$ 15.00	04/28/15	14426	\$ 3,800.00	07/02/15
R54-15	04/20/15	Maxim Enterprises	402-880-8497	50 CLC	Jeremy Groves	402-509-8503	Replace Roof	\$ 18.50	04/28/15	14435	\$ 8,450.00	07/20/15
R55-15	04/20/15	Wallingford Const.	402-515-5307	700 Key Cr	John Freman		Replace Roof	\$ 18.50	04/28/15	14434	\$ 10,000.00	07/20/15
R56-15	04/21/15	McIntosh Plumbing	712-256-6038	1330 Holiday	Owen Dashner	402-578-4003	Gasline Pr. Test/BHE Fax	\$ 25.00	04/28/15	14436	\$ 300.00	05/21/15
R57-15	04/22/15	Blue Sky Inc	402-689-1576	3005/3007 Nakoma L	Blue Sky Inc	402-689-1576	Temp. Power Pole	\$ 25.00	04/28/15	14438	\$ 300.00	05/21/16
R58-15	04/22/15	Baker Htg & Cooling	402-827-5700	3008 N 13th St	April Smith	402-960-4569	Replace Furn. & A/C	\$ 42.00	04/28/15	14437	\$ 3,800.00	06/22/15
R59-15	04/23/15	Lonnie Hornbarger	402-321-6705	1512 Murray	Lonnie Hornbarger	402-321-6705	Accessory Building	\$ 15.00	04/28/15	14440	\$ 2,500.00	09/23/15
R60-15	04/23/15	Doug/Jan Scott	712-847-0341	918 Hiatt	Doug/Jan Scott	712-847-0341	New Privacy Fence	\$ 15.00	04/28/15	14439	\$ 2,000.00	07/23/15
R61-15	04/27/15	Mikel USA	712-847-0747	Do 1515 Ave Q	Mikel USA	712-847-0747	Roof, Siding, Windows	\$ 45.50	04/28/15	14433	\$ 10,000.00	07/27/15
R62-15	04/27/15	Dale/Linda Sellick	402-208-3012	100 CLC	Dale/Linda Sellick	402-208-3012	Replace Deck	\$ 23.00	05/06/15	14523	\$ 3,000.00	08/27/15
R63-15	04/28/15	Joe/Theresa Hawkins	712-347-5492	1001 Willow Dr	Joe/Teresa Hawkins	712-347-5492	Replace Deck	\$ 23.00	05/06/15	14525	\$ 3,000.00	08/28/15
R64-15	04/28/15	Pyramid Roofing	402-502-9300	1426 Lindwood	Justin Mathern	402-681-7355	Replace Roof/Siding	\$ 32.00	05/06/15	14524	\$ 5,914.00	07/28/15
R65-15	04/29/15	MIKEL USA	712-847-1000	3010 N 13th St	MIKEL USA	712-847-1000	Replace Roof	\$ 18.50	05/06/15	14522	\$ 3,500.00	06/29/15
R66-15	04/29/15	John Kusel KJ Field Services	515-491-3180	1330 Holiday Dr	National Advantage	515-491-3180	Replace Roof	\$ 18.50	05/06/15	14521	\$ 3,500.00	07/29/15
R67-15	04/30/15	McKinnis Roofing & Sheet M	402-426-2644	1326 Cachelin	Dennis/Deb Jenkins	402-350-3559	Replace Window	\$ 18.50			\$ 2,427.00	07/30/15

Commercial

C7-15	04/28/15	OCB Plumbing	402-915-2622	2510 Abbott Dr	SAR Associates	312-888-3081	Replacing Tub Drains	\$ 92.50	04/28/15	14441	\$ 5,000.00	10/28/15
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TOTAL: \$ 468.50 TOTAL: \$ 69,491.00



Dirt Haul    Dirt Deposit  
Permit      Refunded



FOR OFFICE USE: CASE # \_\_\_\_\_ Receipt # \_\_\_\_\_  
Z.B.A. Public Hearing: \_\_\_\_\_ Amount \_\_\_\_\_

**CITY OF CARTER LAKE**

**APPLICATION FOR PLANNING BOARD AGENDA**

1. APPLICANT: OMA Lodging, LLC Phone: 402-416-3522  
Address: 6007 Norman Road, Lincoln, NE 68512 \*Status: O.H.
2. REPRESENTED BY: Mike Works Phone: 402-416-3522  
Address: 6007 Norman Road, Lincoln, NE 68512
3. STREET ADDRESS/LOCATION: Southwest of Owen Parkway West and Abbott Drive.
4. LEGAL DESCRIPTION: Lot 2 and the West 47.5' of Lot 3, Owner Parkway subdivision.  
(Lot Split Pending)
5. OWNERS NAME: OMA Lodging, LLC
6. OWNERS ADDRESS: 6007 Norman Road, Lincoln, NE 68512
7. REASONS FOR REQUEST AND INTENDED USES: Review project for site prep& layout, utilities,  
landscaping, and foudations
8. ZONING DISTRICT: BP Business Park District
9. PRESENT USE: Vacant
10. COPY OF BLUEPRINTS OF INTENDED STRUCTURE. To Be Provided
11. ADMINISTRATIVE DECISION ISSUED: \_\_\_\_\_

FOR OFFICE USE

12. ATTACHED TO THE APPLICATION ARE:
  - a. Denied "Building Permit Application" Form.....
  - b. Approves.....
  - c. Restrictions.....

THE FACTS PRESENTED ABOVE ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE:

13. SIGNATURE: Mike Works Date: May 6, 2015

TYPED OR PRINTED NAME: Mike Works \*Status: A

\*NOTE: P.O. = Property Owner C.P. = Contract Purchaser  
O.H. = Legal Optionholder A. = Owner's authorized agent





HOLIDAY INN EXPRESS & SUITES  
2010 ABBOT DRIVE, CARTER LAKE, IOWA  
IHG LOCATION NO: 17426/ OMAXS

BID PACKAGE 1: CIVIL AND FOUNDATION WORK



PROJECT DIRECTORY

DESIGN- BUILDER

NGC Group, Inc.  
Contact: Eric Neff  
17310 Wright Street, Suite 104  
Omaha, NE 68130  
Ph: 1 (402) 261-5489  
Fax: 1 (888) 375-1149  
Email: eneff@ngcgroupinc.com

SURVEY AND CIVIL ENGINEER

E & A Consulting Group, Inc.  
7130 South 29th Street  
Lincoln, NE 68516  
Ph: 1 (402) 420-7217  
Fax: 1 (402) 420-7218  
Contact: Richard P. Onnen, P.E.

MECHANICAL / ELECTRICAL /  
PLUMBING ENGINEER

Advanced Engineering Systems, Inc.  
4630 Antelope Creek Rd Ste 200  
Lincoln, NE 68506  
Ph: 1 (402) 488-0075  
Fax: 1 (402) 488-0272  
Contacts:  
HVAC: Jeremy Wagener  
Electrical: Steve Jensen

ARCHITECT

Encompass Architects, p.c.  
720 'O' Street, Lot 'F'  
Lincoln, NE 68508  
Ph: (402) 477-2404  
Fax: (402) 477-2388  
Contact: Todd Hesson  
Email: todd@EncompassArch.com

STRUCTURAL ENGINEER

Vector Structural Design  
1430 West Park Avenue  
Lincoln, NE 68522  
Ph: 1 (402) 525-1450  
Fax:  
Contact: Jason L. Suelter, SE

INDEX OF DRAWINGS

GENERAL

G001 COVER SHEET

CIVIL

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C102 GRADING CUT/ FILL PLAN  
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C201 SITE UTILITY DETAILS  
C300 SITE PAVING PLAN  
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S201 FOUNDATION PLAN  
S301 STRUCTURAL DETAILS



Holiday Inn Express  
2010 Abbot Drive  
Carter Lake, Iowa

IHG LOCATION NO. 17426/OMAXS

NGC  
NEW GENERATION  
CONSTRUCTION

NGC Group  
17310 Wright Street, Suite 104  
Omaha, NE 68130  
Ph: 1 (402) 261-5489  
Fax: 1 (888) 375-1149  
Website: www.ngcgroupinc.com

05/08/15  
EA Project No. 15-1100

BID PACKAGE 1:  
CIVIL AND  
FOUNDATION WORK

PRELIMINARY -  
NOT FOR  
CONSTRUCTION

REVISIONS

COVER

Drawn By: Author Checked By: Checker  
© Copyright Encompass Architects

G000

ELECTRICAL ENGINEER

I HEREBY CERTIFY THAT THIS ENGINEERING  
DOCUMENT  
WAS PREPARED BY ME OR UNDER MY DIRECT  
SUPERVISION AND THAT I AM A DULY LICENSED  
PROFESSIONAL ENGINEER UNDER THE LAWS OF THE  
STATE OF IOWA.

JEFFREY A. JOHNSON

IOWA REG.#1-----

My license renewal date is

Pages or sheets covered by this seal:

MECHANICAL/ PLUMBING ENGINEER

I HEREBY CERTIFY THAT THIS ENGINEERING  
DOCUMENT  
WAS PREPARED BY ME OR UNDER MY DIRECT  
SUPERVISION AND THAT I AM A DULY LICENSED  
PROFESSIONAL ENGINEER UNDER THE LAWS OF THE  
STATE OF IOWA.

VISHAL G. KHANNA

IOWA REG.#1-----

My license renewal date is

Pages or sheets covered by this seal:

STRUCTURAL ENGINEER

I HEREBY CERTIFY THAT THIS ENGINEERING  
DOCUMENT  
WAS PREPARED BY ME OR UNDER MY DIRECT  
SUPERVISION AND THAT I AM A DULY LICENSED  
PROFESSIONAL ENGINEER UNDER THE LAWS OF THE  
STATE OF IOWA.

JASON L. SUELTER, SE

IOWA REG.#1-----

My license renewal date is

Pages or sheets covered by this seal:

SURVEY AND CIVIL ENGINEER

I hereby certify that this engineering document was prepared by me or  
under my direct supervision and that I am a duly licensed  
Professional Engineer under the laws of the State of Iowa.

Richard P. Onnen

Date

My license renewal date is December 31, 2016

Pages or sheets covered by this seal:

ARCHITECT

I hereby certify that the portion of this technical submission  
described below was prepared by me or under my direct  
supervision and responsible charge. I am a duly registered  
architect under the laws of the state of Iowa.

TAMARA L. EAGLE BULL

Printed or typed name

Signature

Date

Registration expires

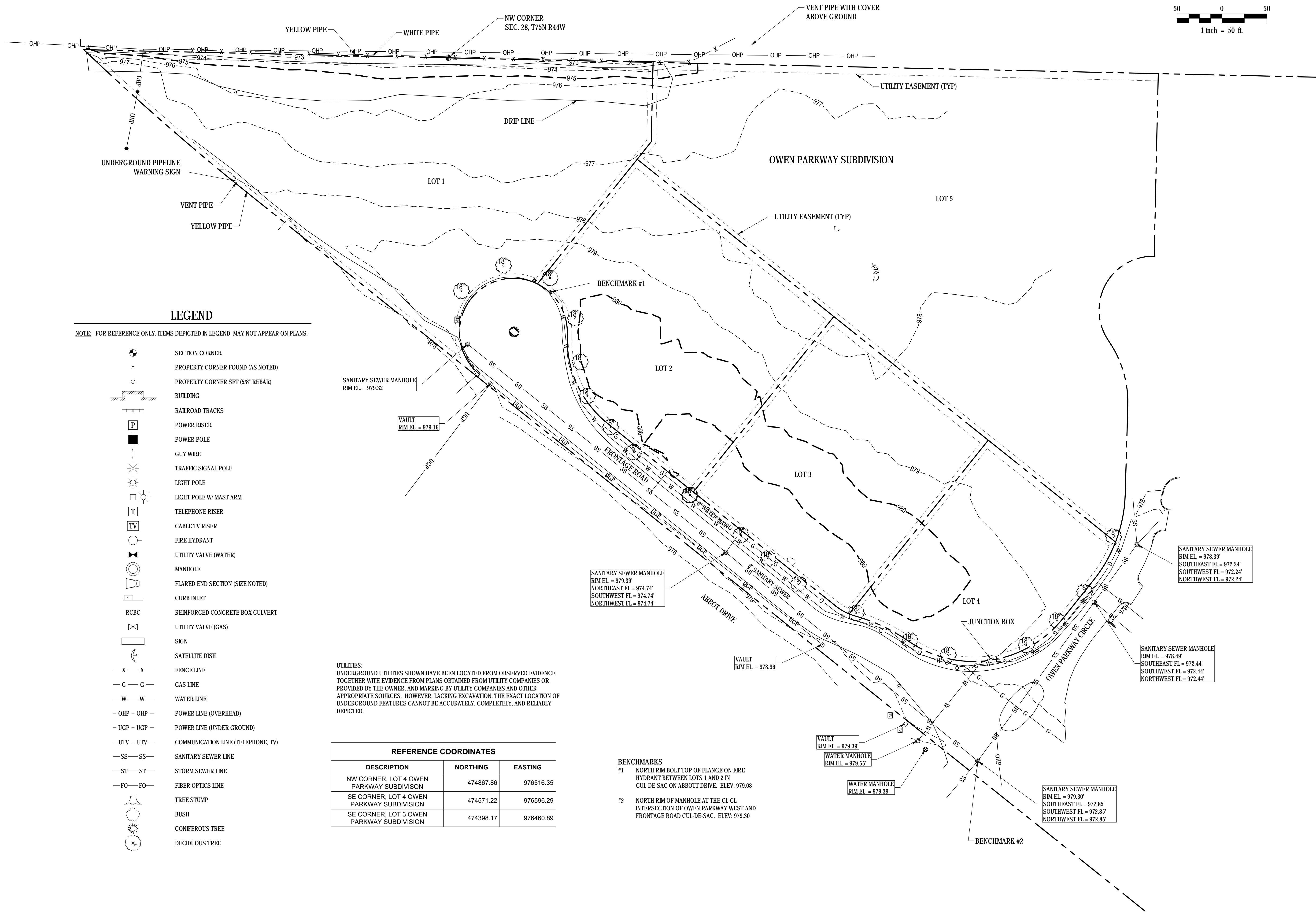
Date issued

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5/6/2015 10:43 AM K:\Projects\2015\07\01\Plans\TOPG OWEN PARKWAY 500.dwg

Andrie France



**Holiday Inn Express**  
2010 Abbot Drive  
Carter Lake, Iowa

IHG LOCATION NO. 17426/OMAXS

**NGC**  
NEW GENERATION  
CONSTRUCTION

**NGC Group**  
11310 Wiggins Street, Suite 104  
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Ph: 1 (402) 261-5489  
Fax: 1 (888) 375-1149  
Website: www.ngcgroupinc.com

05/08/15  
EA Project No. 15-1100

**BID PACKAGE 1:**  
CIVIL AND  
FOUNDATION WORK



REVISIONS

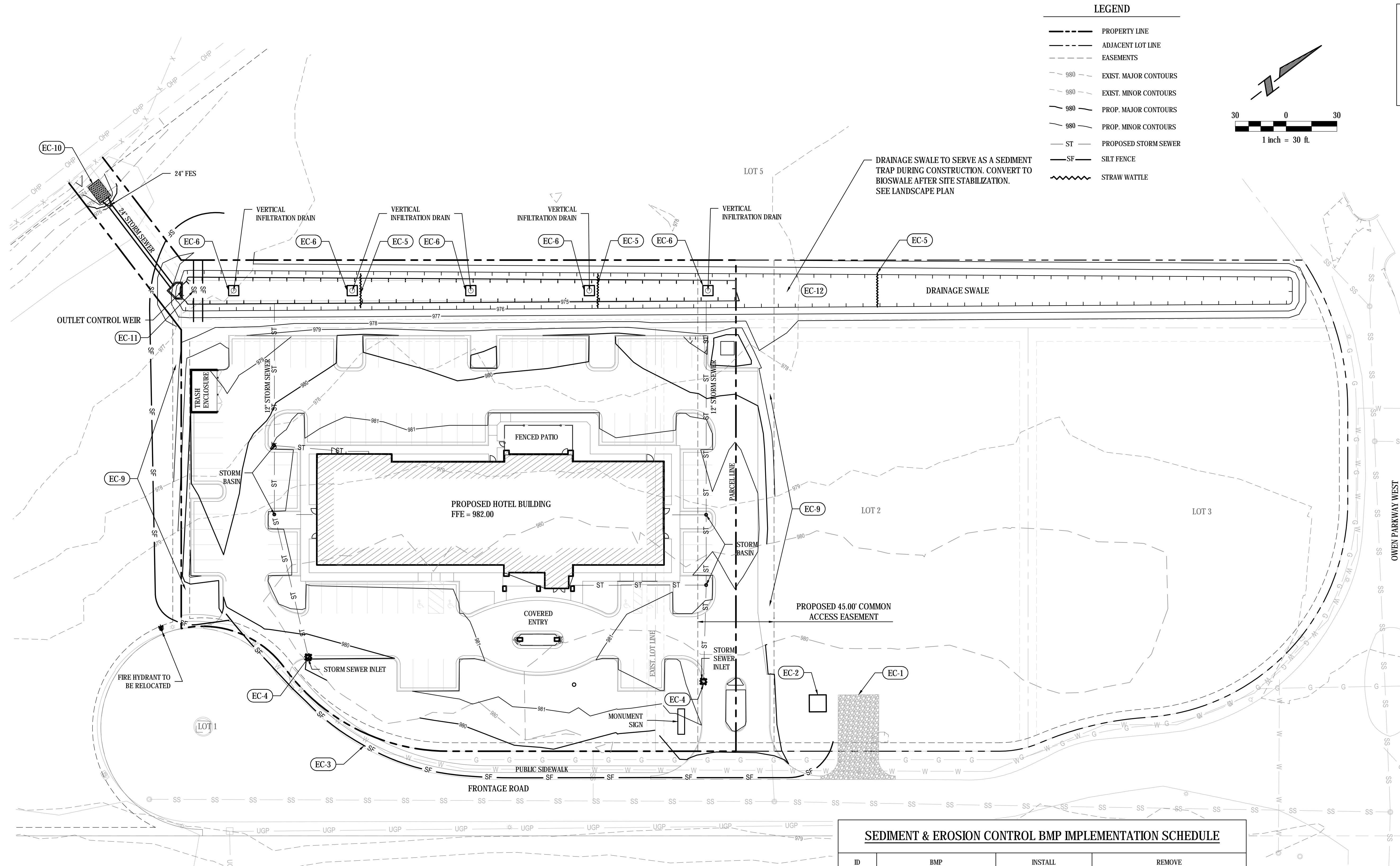
PRELIMINARY  
NOT FOR  
CONSTRUCTION

**EXISTING  
TOPOGRAPHIC  
SITE PLAN**

Drawn By: \_\_\_\_\_ Checked By: \_\_\_\_\_  
© Copyright Encompass Architects

C001





ABBOTT DRIVE

**SITE ACERAGE**  
TOTAL = 4.29 ACRES  
DISTURBED = 2.69 ACRES

- EXCAVATION AND COMPACTION NOTES**
- EARTHWORK AND COMPACTION SHALL BE COMPLETED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEERING REPORT DATED APRIL 29, 2015 PREPARED BY TERRACON CONSULTANTS, INC.
  - SUBGRADE PREPARATION SHALL BE COMPLETED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEERING REPORT PREPARED FOR THE PROJECT BY TERRACON COMPANY DATED APRIL 6, 2015.
  - THE AREA EXTENDING 5 FEET BEYOND THE BUILDING FOOT PRINT SHALL BE EXCAVATED TO A UNIFORM DEPTH OF 977.80 PRIOR TO PLACEMENT FOR FILL FOR THE BUILDING PAD.
  - USE OF ON-SITE EXCAVATED SOILS FOR STRUCTURAL FILL IS SUBJECT TO APPROVAL OF THE GEOTECHNICAL ENGINEER.
  - THE BIOSWALE AREA MAY BE OVER EXCAVATED FOR THE PURPOSE OF WASTING EXCESS TOPSOIL. TOPSOIL WASTED IN SUCH MANNER SHOULD BE PLACED LOOSELY WITH MINIMAL COMPACTION.

SEDIMENT & EROSION CONTROL BMP IMPLEMENTATION SCHEDULE			
ID	BMP	INSTALL	REMOVE
EC-1	CONSTRUCTION ENTRANCE	PRIOR TO LAND DISTURBANCE	SUBSTANTIAL COMPLETION OF CONSTRUCTION
EC-2	CONCRETE WASHOUT	PRIOR TO CONCRETE PLACEMENT	AFTER COMPLETION OF CONCRETE WORK
EC-3	SILT FENCE	PRIOR TO STRIPPING	AFTER FINAL SEEDING IS ESTABLISHED
EC-4	WATTLE INLET PROTECTION	IMMEDIATELY FOLLOWING STORM SEWER CONSTRUCTION	AFTER FINAL SEEDING IS ESTABLISHED
EC-5	STRAW WATTLE BARRIER	IMMEDIATELY FOLLOWING DRAINAGE SWALE CONSTRUCTION	PRIOR TO FINAL GRADING OF BIOSWALE
EC-6	SILT FENCE VERTICAL DRAIN PROTECTION	IMMEDIATELY FOLLOWING VERTICAL DRAIN CONSTRUCTION	PRIOR TO FINAL GRADING OF BIOSWALE
EC-9	SEEDING AND MULCH	AFTER FINE GRADING	N/A
EC-10	TRANSITION MAT OUTLET PROTECTION	IMMEDIATELY FOLLOWING STORM SEWER CONSTRUCTION	N/A
EC-11	SILT FENCE DITCH CHECK	IMMEDIATELY FOLLOWING DRAINAGE SWALE GRADING	DURING BIOSWALE CONSTRUCTION
EC-12	SEDIMENT TRAP	WITH INITIAL GRADING	CONVERT TO BIOSWALE AFTER SITE STABILIZATION

**LEGEND**

- PROPERTY LINE
- ADJACENT LOT LINE
- EASEMENTS
- - - 980 - - - EXIST. MAJOR CONTOURS
- - - 980 - - - EXIST. MINOR CONTOURS
- 980 - PROP. MAJOR CONTOURS
- 980 - PROP. MINOR CONTOURS
- ST — PROPOSED STORM SEWER
- SF — SILT FENCE
- ~~~~~ STRAW WATTLE

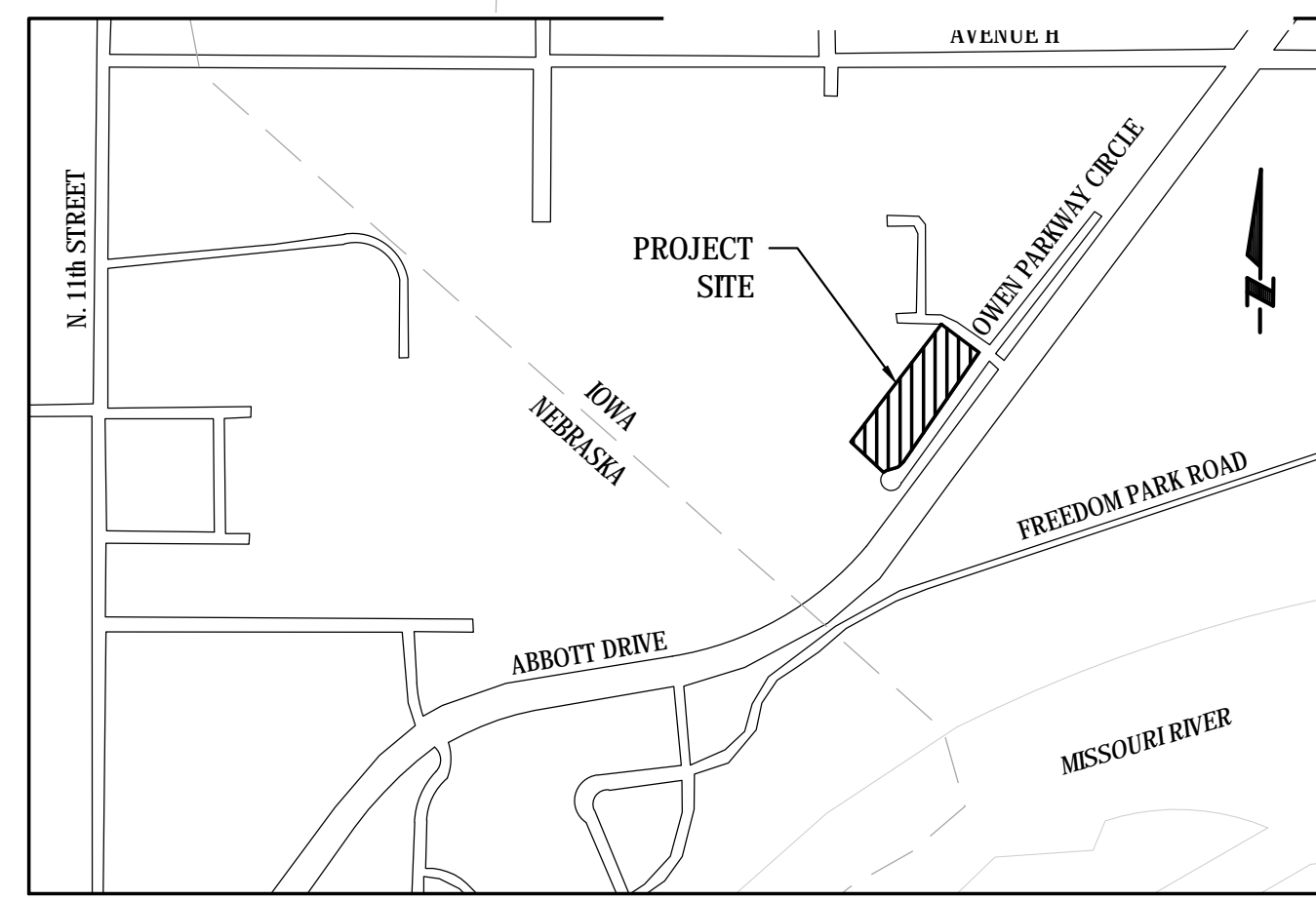
30 0 30  
1 inch = 30 ft.

**IOWA ONE CALL<sup>SM</sup>**  
800/292-8989  
TOLL-FREE  
CALL-BEFORE-YOU-DIG

- GENERAL CONSTRUCTION NOTES**
- PROPOSED CONTOURS REPRESENT TOP OF PAVEMENT ELEVATIONS. ADJUSTMENTS FOR PAVEMENT THICKNESS ARE NECESSARY TO REFLECT SUB-GRADE.
  - UTILITIES ARE SHOWN AS A CONVENIENCE FOR THE CONTRACTOR. THE LOCATIONS OF ALL AERIAL AND UNDERGROUND UTILITY FACILITIES MAY NOT BE INDICATED IN THESE PLANS. UNDERGROUND UTILITIES, WHETHER INDICATED OR NOT, WILL BE LOCATED AND FLAGGED BY THE UTILITY COMPANIES AT THE CONTRACTOR'S REQUEST. NO EXCAVATION WILL BE PERMITTED IN THE AREA OF THE UNDERGROUND UTILITIES UNTIL ALL FACILITIES HAVE BEEN LOCATED AND IDENTIFIED TO THE SATISFACTION OF ALL PARTIES AND THEN ONLY WITH EXTREME CARE TO AVOID ANY POSSIBILITY OF DAMAGES TO THE FACILITIES.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROMPT RECONSTRUCTION OF ANY EROSION CONTROL IMPROVEMENTS DISTURBED BY HIS OPERATIONS. ALL DISTURBED EROSION CONTROL IMPROVEMENTS SHALL BE FULLY RECONSTRUCTED AT THE END OF EACH WORKING DAY PRIOR TO LEAVING THE SITE. POSITIVE DRAINAGE IN ALL WORK AREAS SHALL BE MAINTAINED IN THE CONDITION THE CONSTRUCTION SITE WAS IN PRIOR TO CONTRACTORS ARRIVAL.
  - ALL DISTURBED AREAS THAT WILL NOT BE IMPACTED BY CONSTRUCTION ACTIVITY FOR 14 CONSECUTIVE DAYS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT SEEDING AND MULCH.
  - BEFORE LEAVING THE SITE, THE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS AND TEMPORARY SURFACING AND RESTORE ALL STAGING AREAS TO THEIR ORIGINAL LINE AND GRADE AND SHAPE ALL AREAS FOR POSITIVE DRAINAGE.
  - SEDIMENT AND EROSION CONTROL MEASURES SHALL BE IMPLEMENTED IN ACCORDANCE THE CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED FOR THE SITE.
  - GRADING OPERATIONS SHALL NOT BE STARTED BEFORE RECEIVING AUTHORIZATION FOR STORM WATER DISCHARGE FROM CONSTRUCTION SITES FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT.
  - ALL PROPOSED TURF AREAS DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE SODDED OR SEEDDED AND MULCHED PRIOR TO THE CONTRACTOR LEAVING THE SITE.
  - ALL ELEVATIONS REFERENCE USGS NAVD 1988 DATUM.
  - SEE SHEET C101 FOR DETAILS OF SEDIMENT AND EROSION CONTROL MEASURES.
  - SEE SHEET C301 FOR PAVING SPOT ELEVATIONS.

**LEGAL DESCRIPTION**

LOTS 2 AND 3 AND A PORTION OF LOTS 1 AND 5, OWEN PARKWAY SUBDIVISION, CARTER LAKE, PATTAWATTAMIE COUNTY IOWA.



**VICINITY MAP**

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05/08/15  
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**BID PACKAGE 1:**  
CIVIL AND  
FOUNDATION WORK

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**GRADING &  
EROSION  
CONTROL  
PLAN**

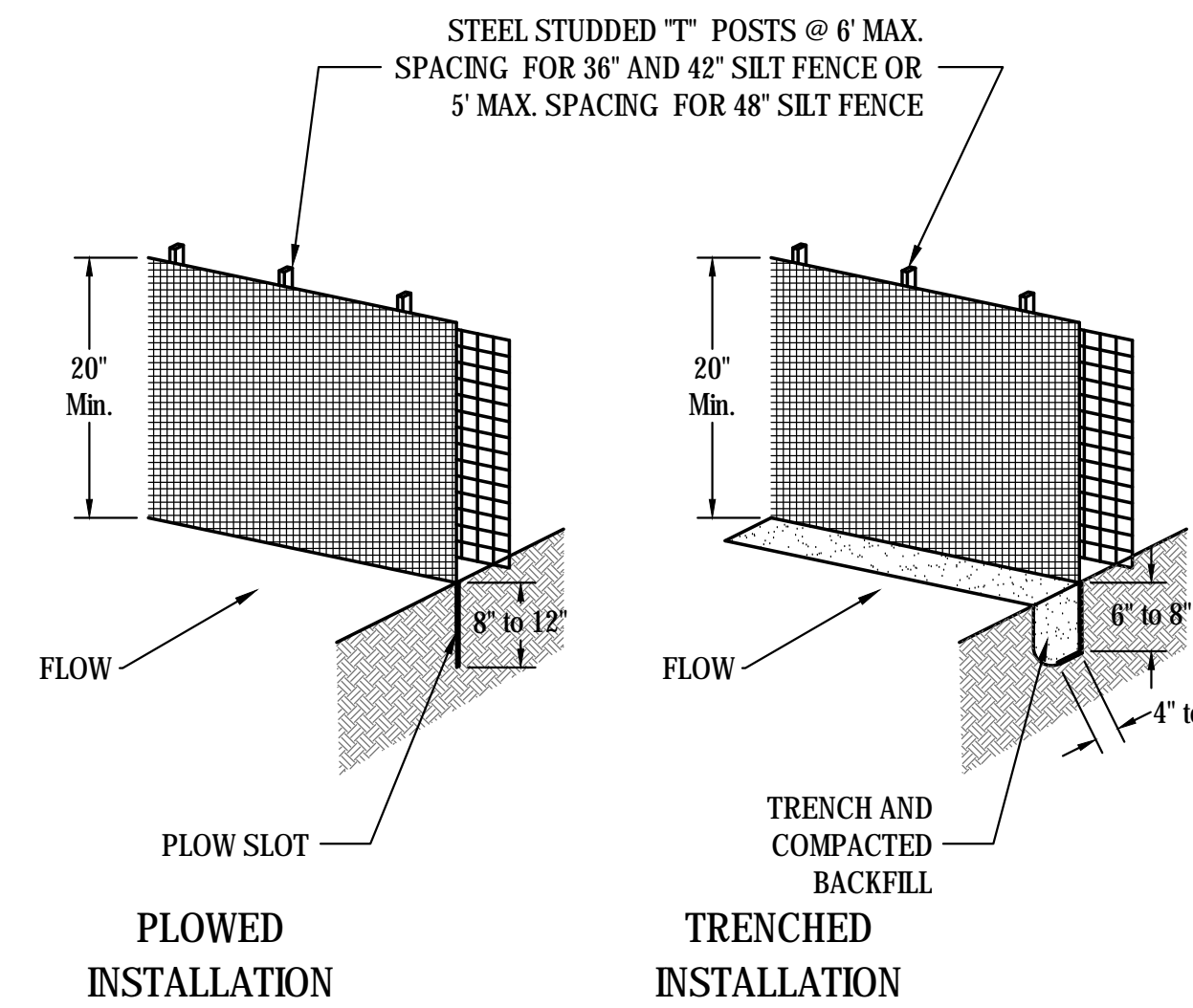
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**C100**



GENERAL SEDIMENT AND EROSION CONTROL NOTES

- Unless otherwise indicated, all vegetative and structural erosion control and sediment control practices and stormwater management practices will be constructed and maintained according to the Nebraska Department of Environmental Quality guidelines.
- All OPERATOR's shall notify utility companies 48 hours before work is started to verify utility locations (One Call 800-331-5666).
- Existing Topsoil shall be removed, stockpiled, and respread as directed by the Inspector. Verify stockpile location with owner prior to construction.
- All OPERATOR's shall be responsible to comply with OSHA regulations.
- The APPLICANT and INSPECTOR shall manage construction activities so as to minimize the potential for erosion.
- All OPERATOR's must comply with the APPLICANT and INSPECTOR in regard to the construction activities so as to minimize the potential for erosion and pollution.
- Each OPERATOR must monitor sediment control BMP's (Best Management Practices), within his or her areas of responsibility, and install additional silt fencing if necessary (note: see Erosion Control Feature Maintenance Schedule) or as directed by the INSPECTOR.
- Each OPERATOR shall periodically remove accumulated sediment from behind silt fences, and all other erosion control measures that store sediment, within his or her areas of responsibility, if necessary (note: see Erosion Control Feature Maintenance Schedule) or as directed by the INSPECTOR.
- Each OPERATOR shall build stabilized construction entrances, within his or her areas of responsibility. Each OPERATOR shall monitor all stabilized construction entrances, within his or her areas of responsibility, and maintain the entrance(s) as needed (note: see Erosion Control Feature Maintenance Schedule) or as directed by the INSPECTOR. OPERATOR's shall not use any other access to the site or allow others to use alternate access points.
- Each OPERATOR must perform preventative maintenance on all pollution control measures, within his or her areas of responsibility, to ensure their proper function. The INSPECTOR shall ensure preventative maintenance through inspection of all pollution control measures.
- All BMP's shall be kept in working order. Each OPERATOR shall repair all damages caused by soil erosion and construction equipment, within his or her areas of responsibility, at or before the end of each working day or as directed by the INSPECTOR.
- BMP's may not be removed without INSPECTOR approval.
- Each OPERATOR shall be responsible for adhering to all BMP's, within his or her areas of responsibility.
- In the event of a release of oil or hazardous substance, all OPERATOR's shall comply with the requirements of the Nebraska Department of Environmental Quality for notification, containment, investigation, remedial action and disposal.
- For dust control all OPERATOR's shall use measures to spread water on stripped areas.
- If sediment is accidentally transported on to the surrounding streets it will be removed from the street surface on a daily basis. Sediment will be shoveled and/or swept from the street and disposed of in a manner which prevents contamination with storm water or surface water.
- The APPLICANT, INSPECTOR, and/or OPERATOR's shall allow the State of Nebraska, or the Federal Government access to the site for inspections at any time, at the implementing agency's discretion.
- Following soil disturbance, permanent or temporary stabilization shall be completed within fourteen (14) calendar days to the surface of all perimeter sediment controls, topsoil stockpiles, and any other disturbed or graded areas on the project site which are not being used for material storage, or on which actual earth moving activities are being performed.
- Mulch shall be applied to all areas of permanent turf seeding. Straw mulch shall be mechanically crimped into the soil. Hydraulically applied mulch shall consist of a bonded fiber matrix applied with hydraulic seeding equipment placed concurrent with or no more than 24 hours after seeding application.



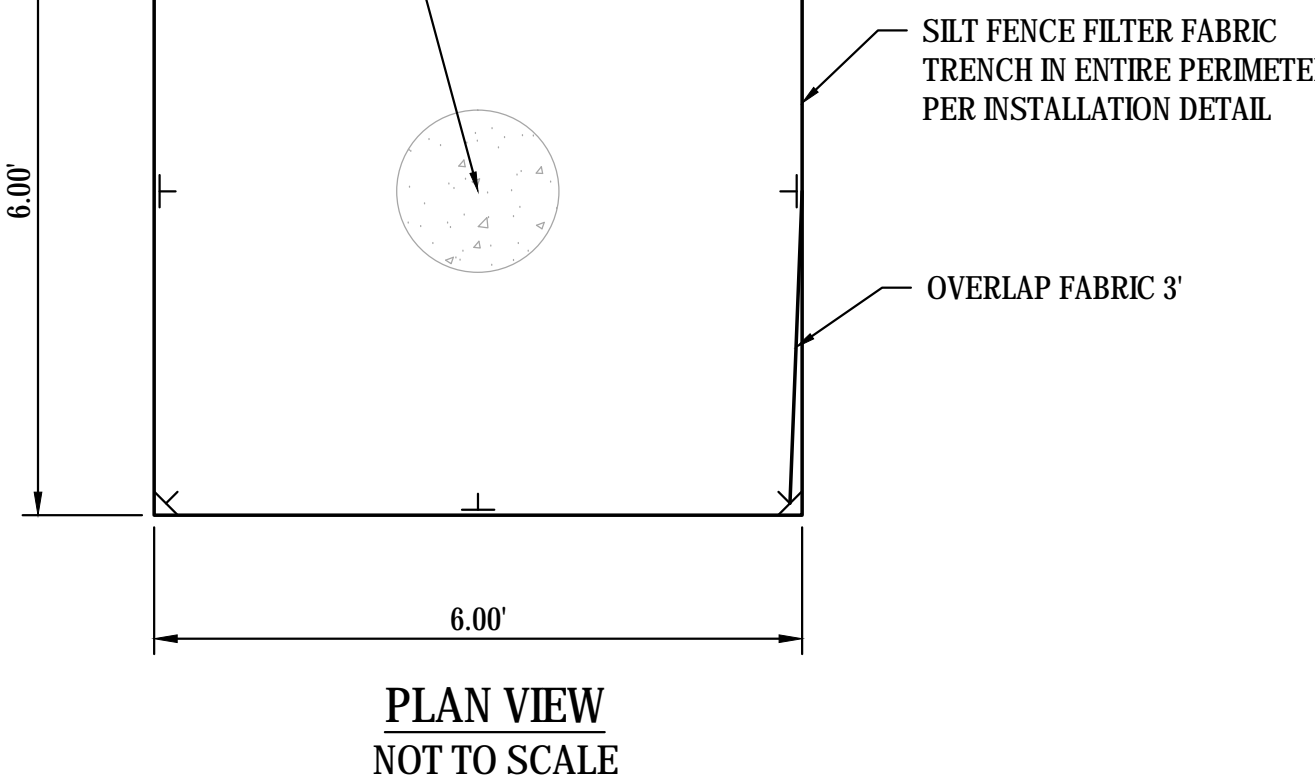
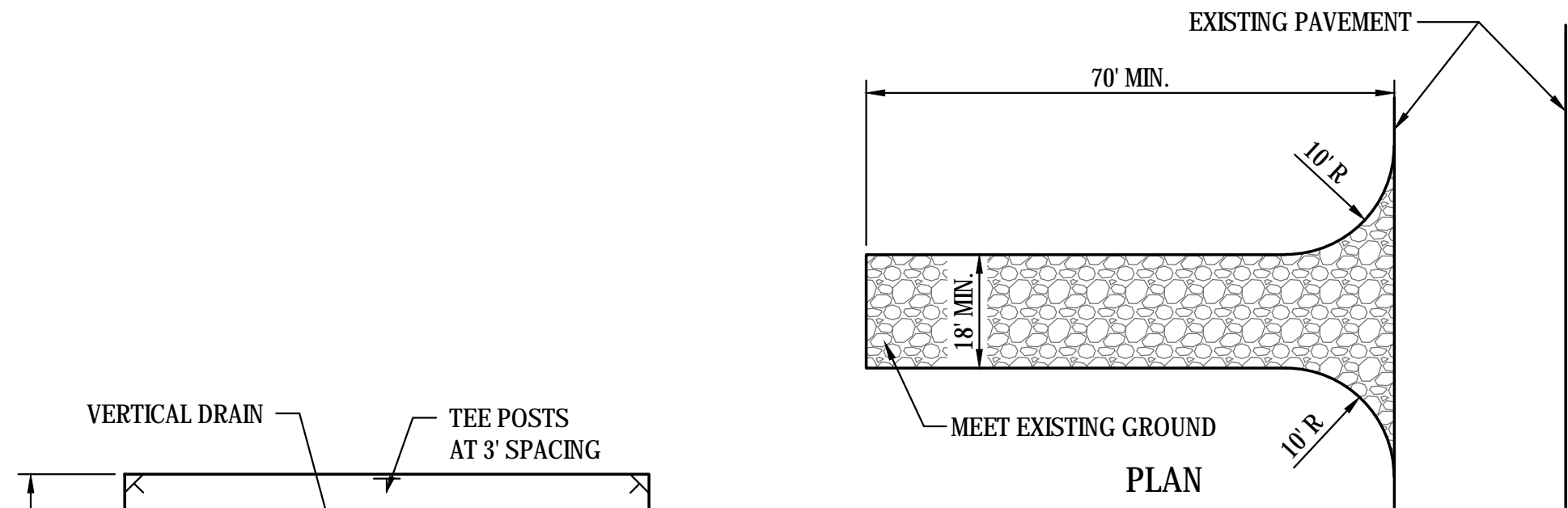
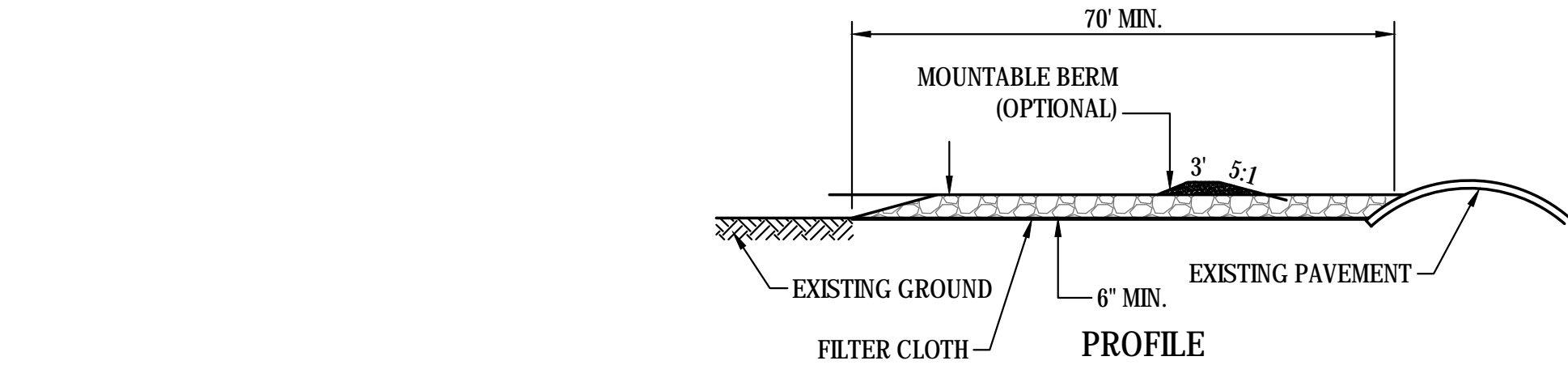
\*\*OPTIONAL WOVEN WIRE FENCE  
(MIN. 14 1/2 GAUGE, MAX. 6" MESH SPACING)

**SILT FENCE**  
NOT TO SCALE

INSPECTION/MAINTENANCE SCHEDULE

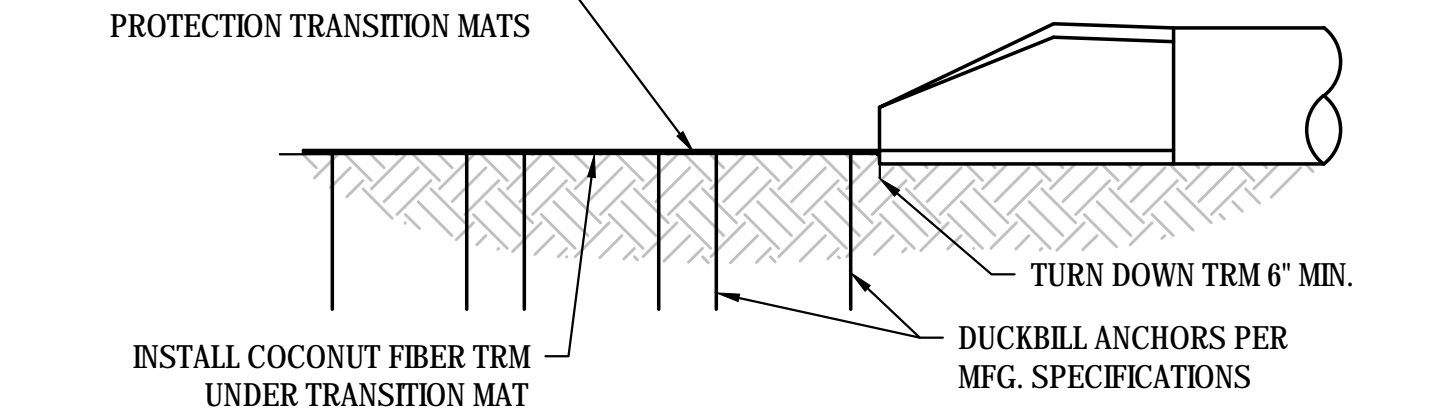
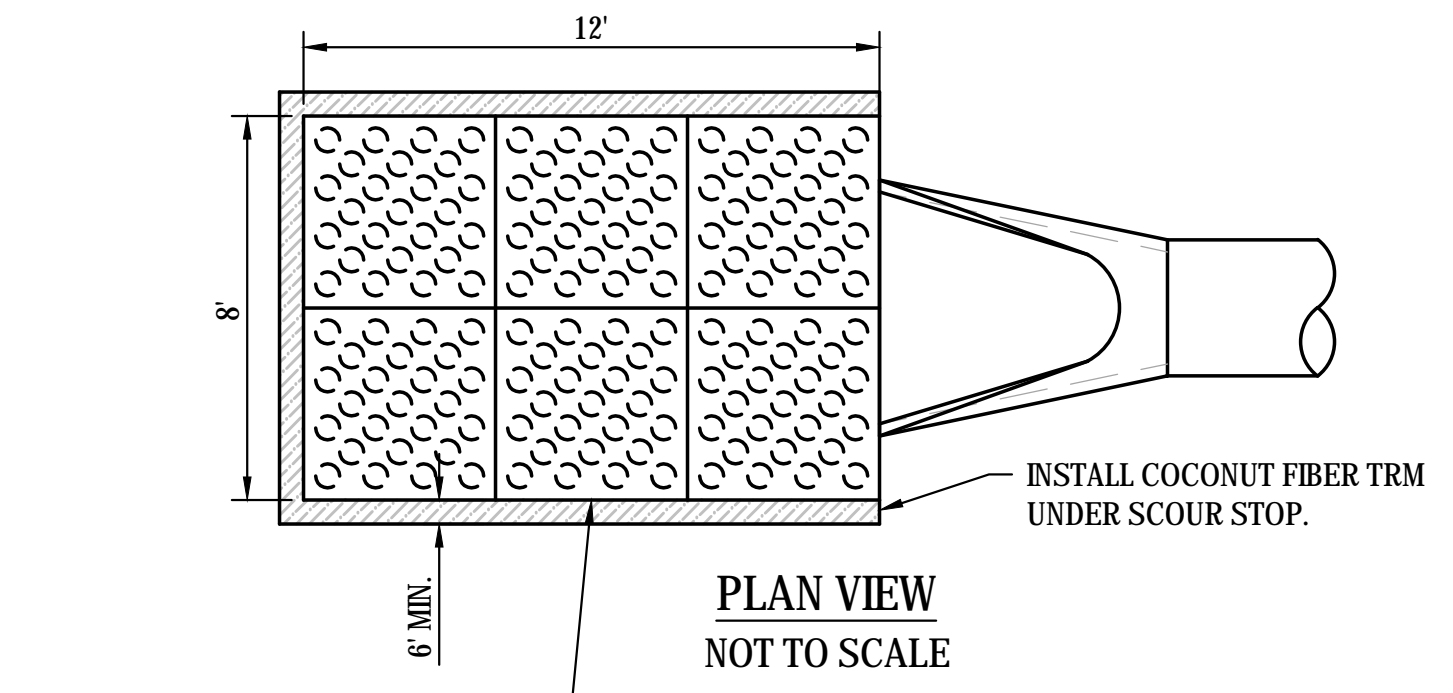
The INSPECTOR must perform the inspections. Inspections shall be conducted a minimum of once every seven days, or within 24 hours after a 1/2" or greater rainfall event. The following Maintenance Schedule has been provided. The OPERATOR/CONTRACTOR must perform all needed maintenance. Furthermore, all erosion control features requiring maintenance may not be listed below. The OPERATOR/CONTRACTOR and INSPECTOR must perform their respective duties on all BMP's (BEST MANAGEMENT PRACTICES) that are not listed below as well.

- Construction Entrance** - The entrance shall be maintained in a condition which will prevent tracking or flow of sediment onto public rights-of-way. This may require periodic top dressing with additional stone or the washing and reworking of existing stone as conditions demand and repair and/or cleanout of any structures used to trap sediment. All materials spilled, dropped, washed, or tracked from vehicles onto roadways or into storm drains must be removed immediately. The use of water trucks to remove materials dropped, washed, or tracked onto roadways will not be permitted under any circumstances.
- Silt Fence** - The maintenance measures are as follows:
  - Silt fences shall be inspected immediately after each rainfall and at least daily during prolonged rainfall, any required repairs shall be made immediately.
  - Close attention shall be paid to the repair of damaged silt fence resulting from end runs and undercutting.
  - Should the fabric on a silt fence decompose or become ineffective prior to the end of the expected usable life and the barrier is still necessary, the barrier shall be replaced promptly.
  - Sediment deposits must be removed when the level of deposition reaches approximately one-half the height of the barrier.
  - Any sediment deposits remaining in place after the silt fence is no longer required shall be dressed to conform to the existing grade, prepared and seeded.
- Biomass Tubular Sediment Barriers (Wattles)** - The maintenance measures include:
  - Barriers shall be inspected immediately after each rainfall and at least daily during prolonged rainfall. Any required repairs shall be made immediately.
  - Close attention shall be paid to the repair of damaged barriers resulting from end runs and undercutting.
  - Should the fabric on a barrier decompose or become ineffective prior to the end of the expected usable life and the barrier is still necessary, the barrier shall be replaced promptly.
  - Sediment deposits must be removed when the level of deposition reaches approximately one-half the height of the barrier.
  - Any sediment deposits remaining in place after the barrier is no longer required shall be dressed to conform to the existing grade, prepared
- Storm Drain Inlet Protection** - The maintenance measures are as follows: (4.1) structures shall be inspected after each rain and repairs made as necessary and (4.2) structures shall be removed and the area stabilized when the remaining drainage area has been properly stabilized.
- Temporary Seeding** - Areas which fail to establish vegetative cover adequate to prevent rill erosion will be re-seeded as soon as such areas are identified. Control weeds by mowing.
- Permanent Seeding** - The maintenance measures are as follows:
  - In general, a stand of vegetation cannot be determined to be fully established until it has been maintained for one full year after planting.
  - New seedlings shall be supplied with adequate moisture, supply water as needed, especially late in the season, in abnormally hot or dry conditions, or on adverse sites, water applications shall be controlled to prevent excessive runoff.
  - Inspect all seeded areas for failures and make necessary repairs, replacements, and reseedings within the planting season, if possible:
    - If stand is inadequate for erosion control, over seed and fertilize using half of the rates originally specified.
    - If stand is 60% damaged, re-establish by following seedbed and seeding recommendations.
    - If stand has less than 40% cover, re-evaluate choice of plant materials and quantities of lime and fertilizer, the soil must be tested to determine if acidity or nutrient imbalances are responsible, re-establish the stand by following seedbed and seeding recommendations.
- Mulching** - All mulches and soil coverings should be inspected periodically (particularly after rainstorms) to check for erosion. Where erosion is observed in mulched areas, additional mulch should be applied. Nets and mats should be inspected after rainstorms for dislocation or failure. If washouts or breakage occur, reinstall netting or matting as necessary after repairing damage to the slope or ditch. Inspections should take place until grasses are firmly established. Where mulch is used in conjunction with ornamental plantings, inspect periodically throughout the year to determine if mulch is maintaining coverage of the soil surface; repair as needed.
- Soil Stabilization Blankets & Matting** - All soil stabilization blankets and matting should be inspected periodically following installation, particularly after rainstorms to check for erosion and undermining. Any dislocation or failure should be repaired immediately. If washouts or breakage occurs, reinstall the material after repairing damage to the slope or ditch. Continue to monitor these areas until which time they become permanently stabilized; at that time an annual inspection should be adequate.
- Street Cleaning/Sweeping** - The maintenance measures include:
  - Evaluate access points daily for sediment tracking.
  - When tracked or spilled sediment is found on paved surfaces, it shall be removed daily, during times of heavy track-out such as during rains, cleaning may be done several times throughout the day.
  - Unknown spills or objects are not to be mixed with the sediment. If sediment is mixed with other pollutants, it will be disposed of properly at an authorized landfill.
- Concrete Washout** - The concrete wash location shall be inspected periodically to ensure that adequate volume to contain wash water and debris. Upon completion of concrete construction activities, the wash location shall be removed and any debris or contaminated soils properly disposed of at an authorized landfill or recycle site.
- Sediment Trap** - Sediment traps shall be inspected every 14 days and after rainfall events. Sediment shall be removed when it reaches one-half the depth of the trap excavation.

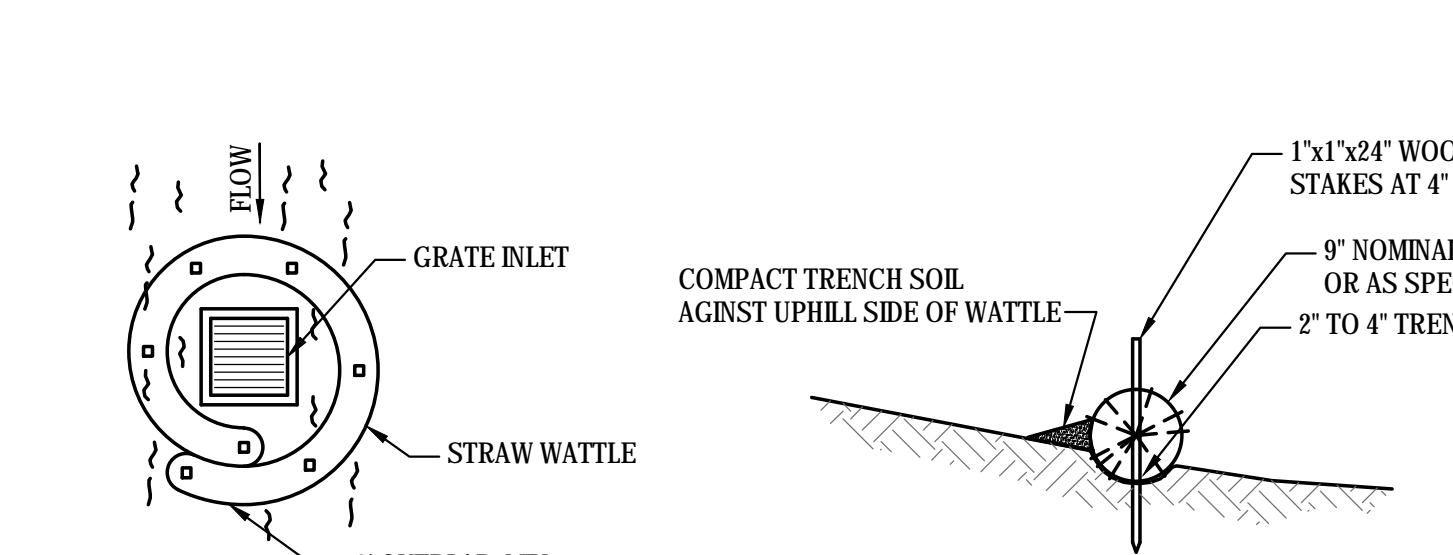


**SILT FENCE PROTECTION FOR VERTICAL DRAINS**  
NOT TO SCALE

**STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE



**STORM SEWER OUTLET TRANSITION MAT DETAIL**  
NOT TO SCALE



- WATTLE NOTES:**
- INSTALL WATTLE ON THE CONTOUR AT A CONSTANT ELEVATION.
  - SPACE STAKES AT 4' MAX. INSTALL ADDITIONAL STAKES AS NECESSARY TO PREVENT MOVEMENT AND UNDERMINING.
  - ABUT OVERLAPPING WATTLES TIGHTLY.

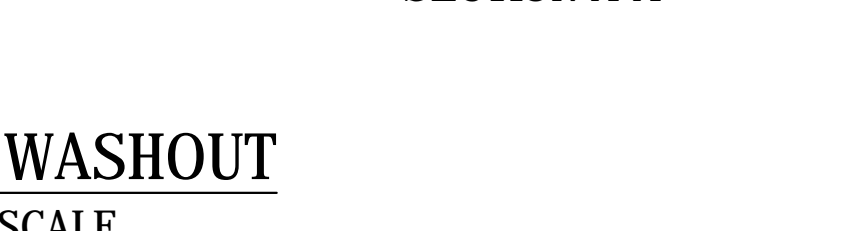
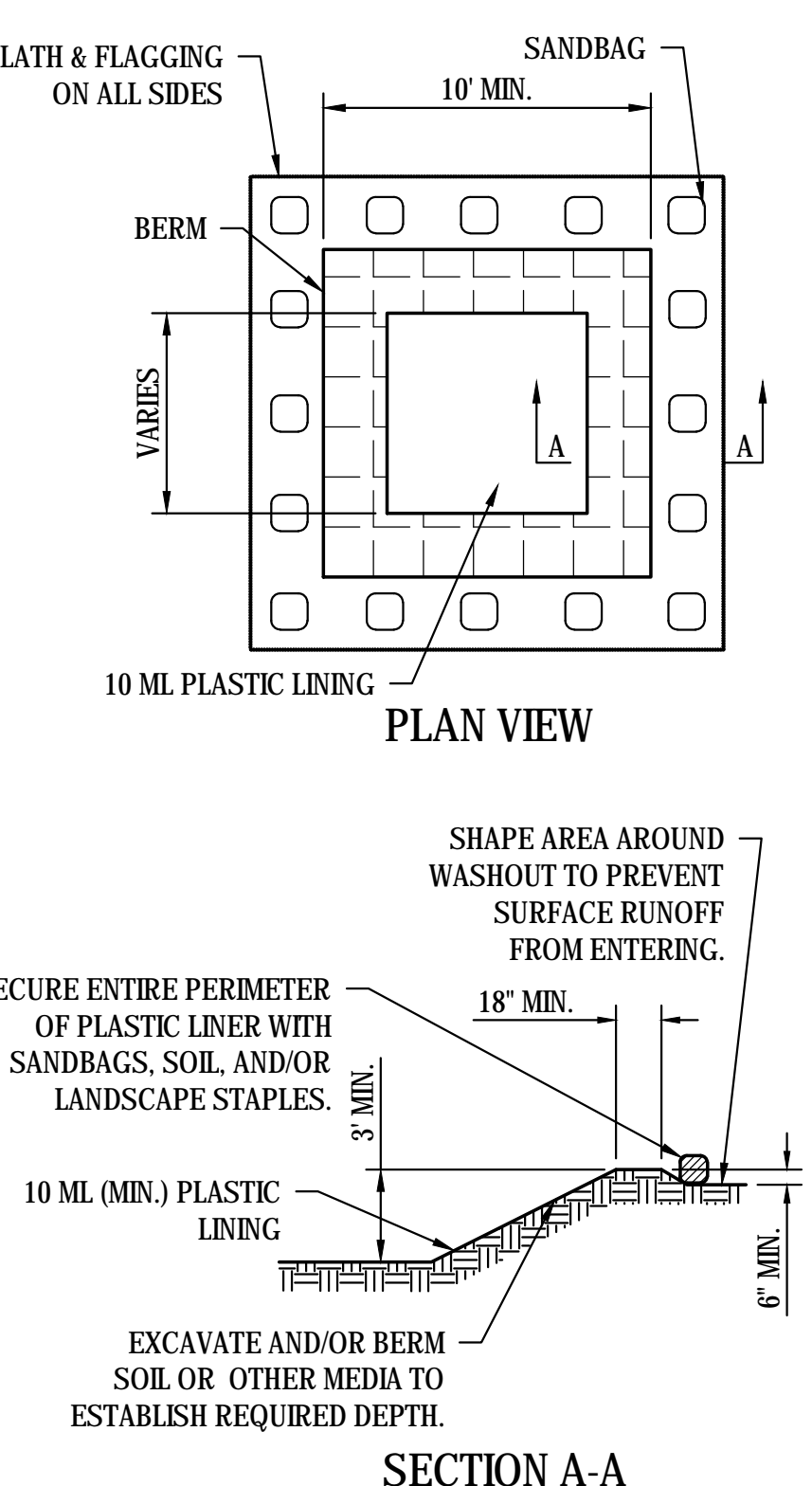
**STRAW WATTLE INSTALLATION DETAILS**  
NOT TO SCALE

CONCRETE WASHOUT NOTES:

- TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE LOCATED A MINIMUM OF 50 FT FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES. EACH FACILITY SHALL BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS TO PREVENT DISTURBANCE OR TRACKING.
- A SIGN SHALL BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
- TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
- WASHOUT OF CONCRETE TRUCKS SHALL BE PERFORMED IN DESIGNATED AREAS ONLY.
- ONLY CONCRETE FROM MIXER TRUCK CHUTES SHALL BE WASHED INTO CONCRETE WASHOUT. CONCRETE WASHOUT FROM CONCRETE PUMPER BINS CAN BE WASHED INTO CONCRETE PUMPER TRUCKS AND DISCHARGED INTO DESIGNATED WASHOUT AREA OR PROPERLY DISPOSED OF OFFSITE.
- ONCE CONCRETE WASTES ARE WASHED INTO THE DESIGNATED AREA AND ALLOWED TO HARDEN, THE CONCRETE SHALL BE BROKEN UP, REMOVED, AND DISPOSED OF PROPERLY.
- LATH AND FLAGGING SHALL BE OF THE COMMERCIAL TYPE.
- PLASTIC LINING MATERIALS SHALL BE A MINIMUM OF 10 MIL POLYETHYLENE SHEETING AND SHALL BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.

\*CONCRETE WASHOUT REFERENCED FROM CALIFORNIA STORMWATER BMP HANDBOOK, CONSTRUCTION.

**CONCRETE WASHOUT**  
NOT TO SCALE



CONSTRUCTION ENTRANCE NOTES:

- THE STONE SIZE SHALL BE 2" DIAMETER.
- CONTRACTOR TO CONSTRUCT THE ROAD TO THE LENGTH REQUIRED BUT NOT LESS THAN 70'.
- THE THICKNESS OF THE STONE SHALL BE 6".
- THE WIDTH OF THE CONSTRUCTION ENTRANCE SHALL BE 18' MINIMUM, BUT IN NO CASE LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS AND EGRESS OCCURS.
- FILTER CLOTH WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
- ALL SURFACE RUNOFF FLOWING OR DIVERTED TOWARDS THE CONSTRUCTION ENTRANCE SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 V WILL BE PERMITTED.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, TRACKED, OR WASHED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



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BID PACKAGE 1:  
CIVIL AND  
FOUNDATION WORK



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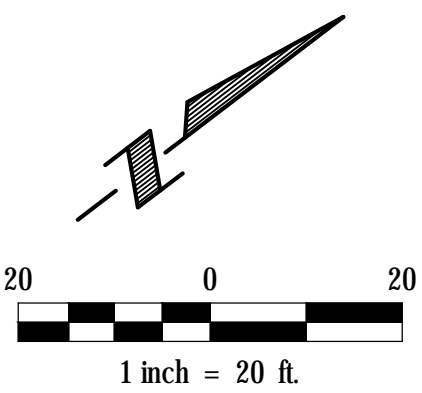
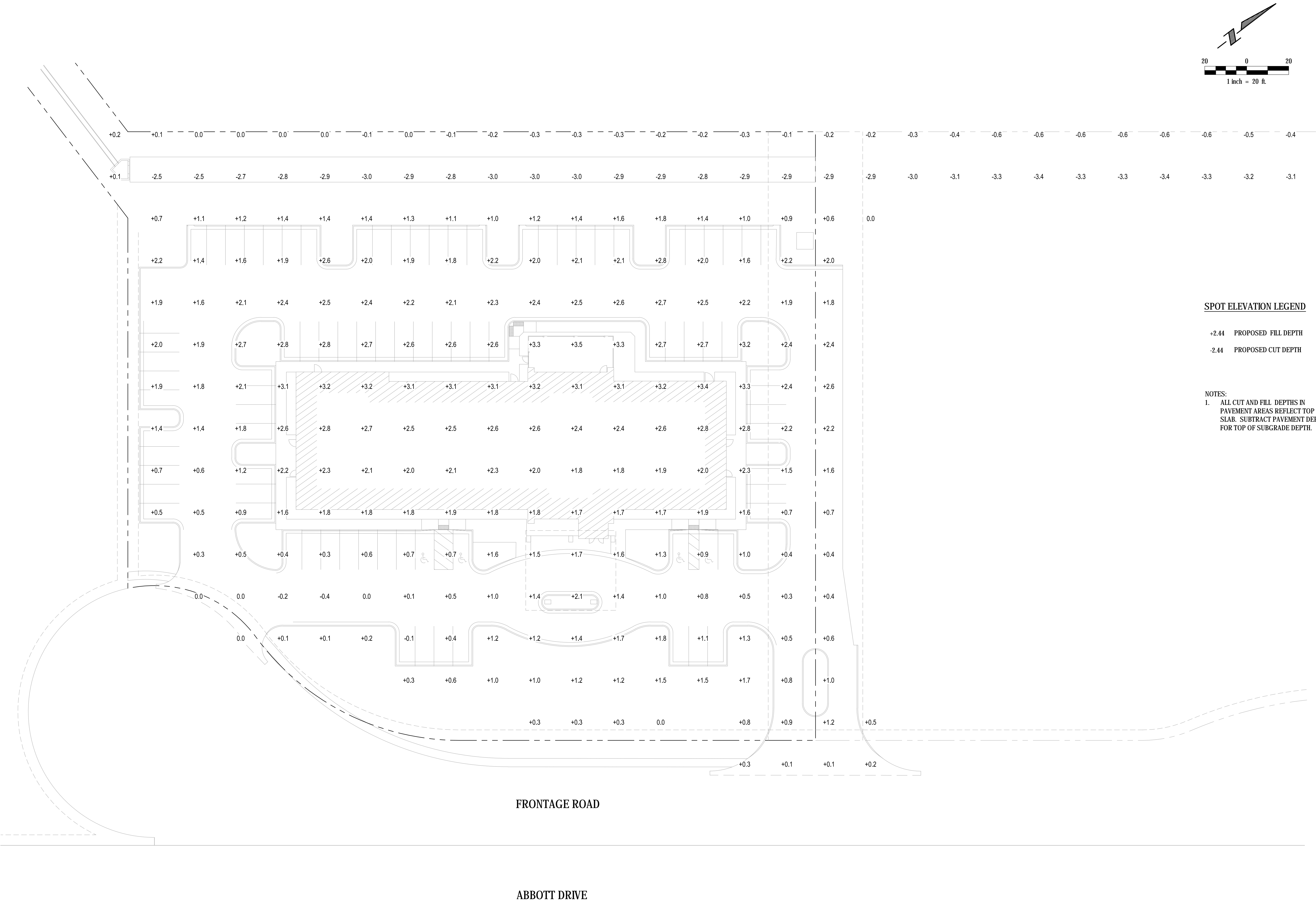
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**SEDIMENT &  
EROSION  
CONTROL  
DETAILS**

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**C101**





SPOT ELEVATION LEGEND

- +2.44 PROPOSED FILL DEPTH
- 2.44 PROPOSED CUT DEPTH

- NOTES:
- ALL CUT AND FILL DEPTHS IN PAVEMENT AREAS REFLECT TOP OF SLAB. SUBTRACT PAVEMENT DEPTH FOR TOP OF SUBGRADE DEPTH.



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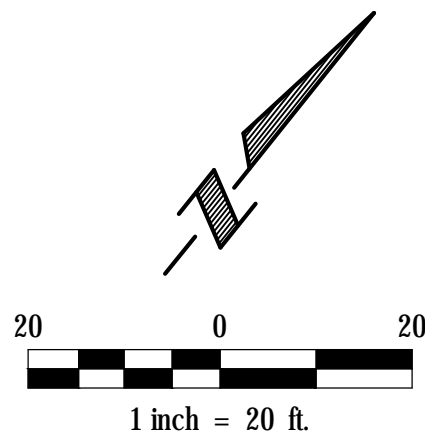
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GRADING CUT/  
FILL PLAN

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C102





WATER NOTES	
(W1)	REMOVE EXISTING FIRE HYDRANT AND VALVE ASSEMBLY. INSTALL 6" SOLID SLEEVE, M.J., CONTRACTOR TO VERIFY EXISTING PIPE ALIGNMENT
(W2)	RELOCATE FIRE HYDRANT AND VALVE ASSEMBLY TO THE NEW LOCATION. SEE MECHANICAL PLAN FOR CONTINUATION.
(W3)	INSTALL 30 LF 6" OF AWWA C900 PVC WATER MAIN
(W4)	INSTALL RELOCATED FIRE HYDRANT ASSEMBLY
(W5)	INSTALL 6" X 6" TAPPING SLEEVE AND VALVE WITH VALVE BOX
(W6)	INSTALL 6" X 22 1/2" 60882A" 17CBH-F57HCF 1C J 9F+ M89. 097HCB B96898L
(W7)	INSTALL 6" POST INDICATOR VALVE, M.J.
(W8)	INSTALL 6" AWWA C900 PVC FIRE SERVICE PIPE
(W9)	INSTALL 6" X 3" TAPPING SLEEVE AND VALVE WITH VALVE BOX
(W10)	INSTALL 3" COPPER DOMESTIC SERVICE PIPE

SANITARY SEWER SERVICE NOTES	
(S1)	CONNECT TO EXISTING SEWER STUB-OUT. CONTRACTOR TO VERIFY LOCATION AND DEPTH.
(S2)	BUILD SANITARY SEWER CLEAN-OUT
(S3)	BUILD 6" SANITARY SEWER SERVICE, MIN. SLOPE = 0.0100
(S4)	BUILD DOUBLE CLEAN-OUT; FL(6") = 977.00. SEE PLUMBING PLAN FOR CONTINUATION

GAS SERVICE NOTES	
(G1)	TAP EXISTING GAS MAIN
(G2)	BUILD GAS SERVICE (SIZE BY PEOPLES NATURAL GAS)

ELECTRIC SERVICE NOTES	
(E1)	ELECTRIC TRANSFORMER (BY OPPD)
(E2)	SECONDARY ELECTRIC SERVICE

STORM SEWER NOTES:

- ALL STORM SEWER PIPE SHALL BE CLASS III RCP; ASTM D-3034. SDR26 PVC WITH GASKETED JOINTS; OR DUAL WALLED, RIBBED HDPE WITH SMOOTH INTERIOR AND WATER TIGHT JOINTS.
- FLARED END SECTIONS SHALL BE REINFORCED CONCRETE. SPECIFICALLY DESIGNED GASKETS OR NON-SHRINK GROUT SHALL BE USED TO CONNECT AND SEAL DISSIMILAR PIPE MATERIAL TO THE BELL OF THE FLARED END SECTION.
- PRIOR TO THE START OF STORM SEWER CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE DEPTH OF EXISTING UTILITY SERVICES AT ALL PROPOSED CROSSING LOCATIONS. IF CONFLICTS BETWEEN PROPOSED AND EXISTING UTILITY SERVICES ARE IDENTIFIED, THE CONTRACTOR SHALL CONTACT THE ENGINEER TO MAKE NECESSARY DESIGN CHANGES PRIOR TO CONSTRUCTION.
- CLEAN-OUTS SHALL BE CONSTRUCTED IN THE LOCATIONS SHOWN ON THE PLANS WITH THE COVER AT THE SURFACE ELEVATION SPECIFIED. CLEAN-OUTS SHALL BE POSITIONED TO AVOID PLACEMENT OF THE CAST IRON COVER WITHIN THE SIDEWALK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL ADDITIONAL FITTINGS AND REDUCERS NOT SPECIFICALLY NOTED ON THE PLANS BUT NECESSARY TO CONSTRUCT THE STORM SEWER NETWORK AS SHOWN ON THE PLANS AND DETAILS.

CONSTRUCTION NOTES:

- BUILD STORM SEWER CLEAN-OUT
- INSTALL 4" SLEEVE FOR IRRIGATION SYSTEM
- INSTALL POOL SUMP DRAIN

GENERAL UTILITY NOTES:

- LOCATION AND ELEVATIONS OF IMPROVEMENTS TO BE MET (OR AVOIDED) BY WORK TO BE DONE SHALL BE CONFIRMED BY THE CONTRACTOR THROUGH FIELD EXPLORATIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPORT TO THE ENGINEER ANY DISCREPANCIES BETWEEN HIS MEASUREMENTS AND THESE PLANS.
- THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITY LINES AND STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY SEARCH OF AVAILABLE RECORDS AND, TO THE BEST OF OUR KNOWLEDGE, CONSTITUTE ALL KNOWN FACILITIES. HOWEVER, THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT ANY EXISTING UTILITIES OR STRUCTURES LOCATED AT THE WORK SITE AND ANY OTHER EXISTING LINES OF RECORD NOT SHOWN ON THESE PLANS.
- BEFORE EXCAVATING FOR THIS CONTRACT, THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS AND LOCATE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF NECESSARY DUE TO THE ACTUAL LOCATION OF EXISTING FACILITIES.
- ALL EXCESS SPOIL MATERIAL FROM UTILITY TRENCHES SHALL BE DISPOSED OF BY THE CONTRACTOR.
- ALL NEW UNDERGROUND UTILITY PIPES SHALL BE BEDDED IN AS SHOWN IN THE DETAILS SHEET C201.
- THE CONTRACTOR SHALL INSTALL ACID AND ALKALI-RESISTANT POLYETHYLENE FILM WARNING TAPE MANUFACTURED FOR MARKING AND IDENTIFYING UNDERGROUND UTILITIES. THE WARNING TAPE SHALL BE 6 INCHES WIDE AND 4 INCHES MILS THICK, CONTINUOUSLY INSCRIBED WITH A DESCRIPTION OF THE UTILITY, COLORED TO COMPLY WITH LOCAL PRACTICE. WARNING TAPE SHALL BE LOCATED 12 INCHES BELOW THE SURFACE DIRECTLY ABOVE EACH UTILITY.
- UTILITY TRENCH EXCAVATIONS TO BE OCCUPIED BY PERSONNEL SHALL BE MADE IN ACCORDANCE WITH OSHA CONSTRUCTION STANDARDS - 29 CFR PART 1926, SUBPART P - EXCAVATIONS.
- SLEEVES FOR INSTALLATION OF SPRINKLER SYSTEMS SHALL BE INSTALLED UNDER THE PAVEMENT IN THE LOCATIONS INDICATED. PLACE THE TOP OF THE SLEEVE A MINIMUM OF 6" BELOW THE BOTTOM OF PAVEMENT. SLEEVES ARE TO EXTEND 18" BEYOND THE BACK OF CURB.
- SEE SHEET C201 FOR UTILITY SITE DETAILS.

WATER SERVICE NOTES:

- FIRE SERVICE LINES SHALL BE CONSTRUCTED OF AWWA C900 PVC OR DUCTILE IRON PIPE.
- ALL FITTINGS FOR WATER LINE CONSTRUCTION SHALL BE DUCTILE IRON WITH MECHANICAL JOINT CONNECTIONS.
- ALL DUCTILE IRON BENDS, TEES, AND TAPPING SLEEVES SHALL BE RESTRAINED WITH CONCRETE BLOCKING AS PER THE DETAIL ON THIS SHEET.
- ALL DUCTILE IRON FITTINGS SHALL BE DOUBLE WRAPPED (TWO LAYERS) AND TAPED WITH LINEAR LOW DENSITY POLYETHYLENE. POLYWRAP SHALL BE A MINIMUM OF 8 MILS THICK AND MANUFACTURED OF VIRGIN POLYETHYLENE MATERIAL.
- A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION, MEASURED TO THE OUTSIDE OF THE PIPES, SHALL BE PROVIDED AT CROSSINGS OF THE 6" WATER SERVICE AND ALL SEWERS.
- WHERE FIRE SERVICE LINES CROSS UNDER SANITARY OR STORM SEWERS, A 20" SECTION OF WATER PIPE SHALL BE LAID CENTERED ON THE CROSSING.
- THE CONTRACTOR SHALL CONTACT THE CARTER LAKE UTILITY DEPARTMENT PRIOR TO CONSTRUCTING TAPS TO THE MUNICIPAL WATER MAIN OR BEGINNING HYDRANT RELOCATION WORK.
- WATER LINES SHALL BE INSTALLED AT A DEPTH TO PROVIDE MINIMUM OF 5' OF COVER FROM FINISHED GRADE.
- RELOCATED WATER MAINS AND THE FIRE SERVICE LINE SHALL BE DISINFECTED AND BACTERIOLOGICAL TESTING COMPLETED WITH SATISFACTORY RESULTS PRIOR TO THE LINES BEING PUT INTO SERVICE.

SANITARY SERVICE NOTES:

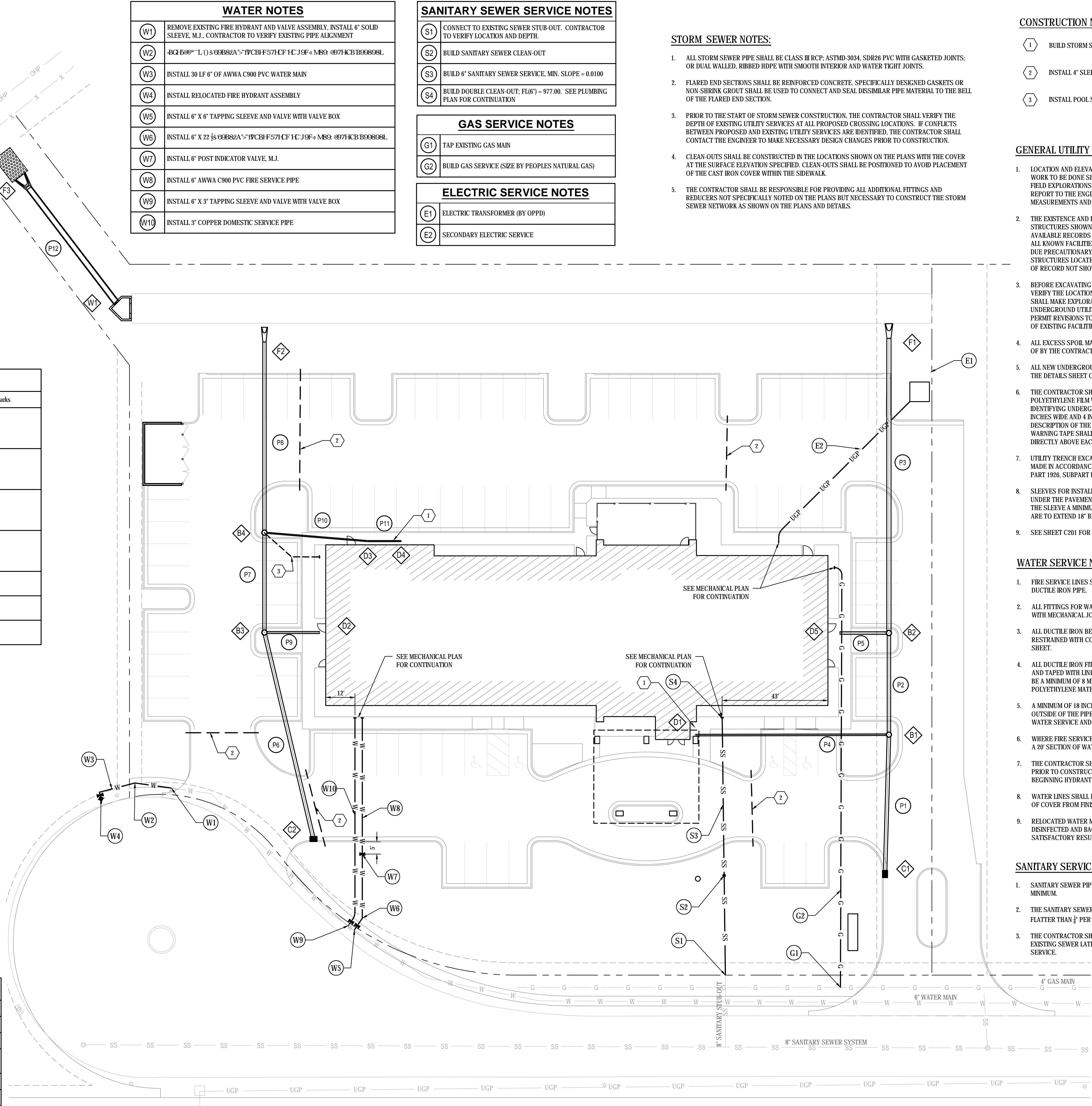
- SANITARY SEWER PIPE SHALL BE ASTM D-3034 TYPE PSM, SDR 35 MINIMUM.
- THE SANITARY SEWER SERVICE MUST BE CONSTRUCTED AT A SLOPE NO FLATTER THAN 1/8" PER FOOT.
- THE CONTRACTOR SHALL FIELD VERIFY THE DEPTH AND SIZE OF THE EXISTING SEWER LATERAL STUB-OUT PRIOR TO CONSTRUCTION OF THE SERVICE.

CONSTRUCT STORM SEWER STRUCTURE					
ID	Description (Type)	Details	Northing	Easting	Remarks
B1	24" NYLOPLAST BASIN WITH SOLID ROUND TOP	RIM = 981.32 INV IN = 976.90 (12") INV IN = 977.40 (6") INV OUT = 976.90 (12")	474482.89	976402.85	
B2	24" NYLOPLAST BASIN WITH SOLID ROUND TOP	RIM = 981.65 INV IN = 976.50 (12") INV IN = 977.00 (10") INV OUT = 976.25 (15")	474508.80	976370.47	
B3	24" NYLOPLAST BASIN WITH SOLID ROUND TOP	RIM = 981.18 INV IN = 976.35 (12") INV IN = 977.00 (8") INV OUT = 976.34 (12")	474309.92	976211.06	
B4	24" NYLOPLAST BASIN WITH SOLID ROUND TOP	RIM = 981.05 INV IN = 975.90 (12") INV IN = 978.90 (4") INV OUT = 975.90 (12")	474335.37	976179.25	
C1	NYLOPLAST 2' X 3' CURB INLET WITH 18" BASIN	RIM = 980.18 INV OUT = 977.40 (12")	474446.11	976446.24	
C2	NYLOPLAST 2' X 3' CURB INLET WITH 18" BASIN	RIM = 979.53 INV OUT = 977.25 (12")	474272.91	976289.31	
W1	DETENTION OUTLET WEIR STRUCTURE	RIM = 975.83 INV OUT = 973.50 (24")	474346.81	976068.29	

CONSTRUCT STORM SEWER PIPE						
ID	START STRUCTURE	END STRUCTURE	Dia.	Length	Slope	Remarks
P1	C1	B1	12"	56.88	0.88%	
P2	B1	B2	12"	41.47	0.96%	
P3	B2	F1	15"	120.20	0.87%	
P4	D1	B1	6"	78.98	3.04%	
P5	B2	D5	10"	20.00	2.50%	
P6	C2	B3	12"	86.57	1.04%	
P7	B3	B4	12"	40.74	1.08%	
P8	B4	F2	12"	77.81	1.16%	
P9	B3	D2	8"	22.42	2.23%	
P10	D3	B4	4"	42.25	2.01%	
P11	D4	D3	4"	13.70	3.28%	
P12	W1	F3	24"	58.82	0.34%	

INSTALL FLARED END SECTION				
ID	Description (Size)	Details	Northing	Easting
F1	15" FLARED END SECTION	INV OUT = 975.20 (15")	474583.90	976276.63
F2	12" FLARED END SECTION	INV IN = 975.00 (12")	474383.99	976118.49
F3	24" FLARED END SECTION	INV IN = 973.30 (24")	474348.13	976009.48

BUILDING DRAIN CONNECTION					
ID	Description	Details	Northing	Easting	Remarks
D1	Null Structure	INV OUT = 979.80 (6")	474421.11	976353.63	CONNECT TO CANOPY AND VESTIBULE DOWNSPOUTS
D2	ROOF DRAIN	INV OUT = 977.50 (8")	474327.42	976225.06	
D3	Null Structure	INV IN = 979.75 (4") INV OUT = 979.75 (4")	474366.12	976208.23	
D4	Null Structure	INV OUT = 980.20 (4")	474376.81	976216.79	
D5	ROOF DRAIN	INV OUT = 977.50 (10")	474493.18	976357.98	



LEGEND	
---	PROPERTY LINE
---	EASEMENTS
---	PROPOSED STORM SEWER
---	PROPOSED GAS SERVICE
---	PROPOSED SANITARY SEWER
---	PROPOSED ELECTRIC SERVICE
---	PROPOSED WATER SERVICES



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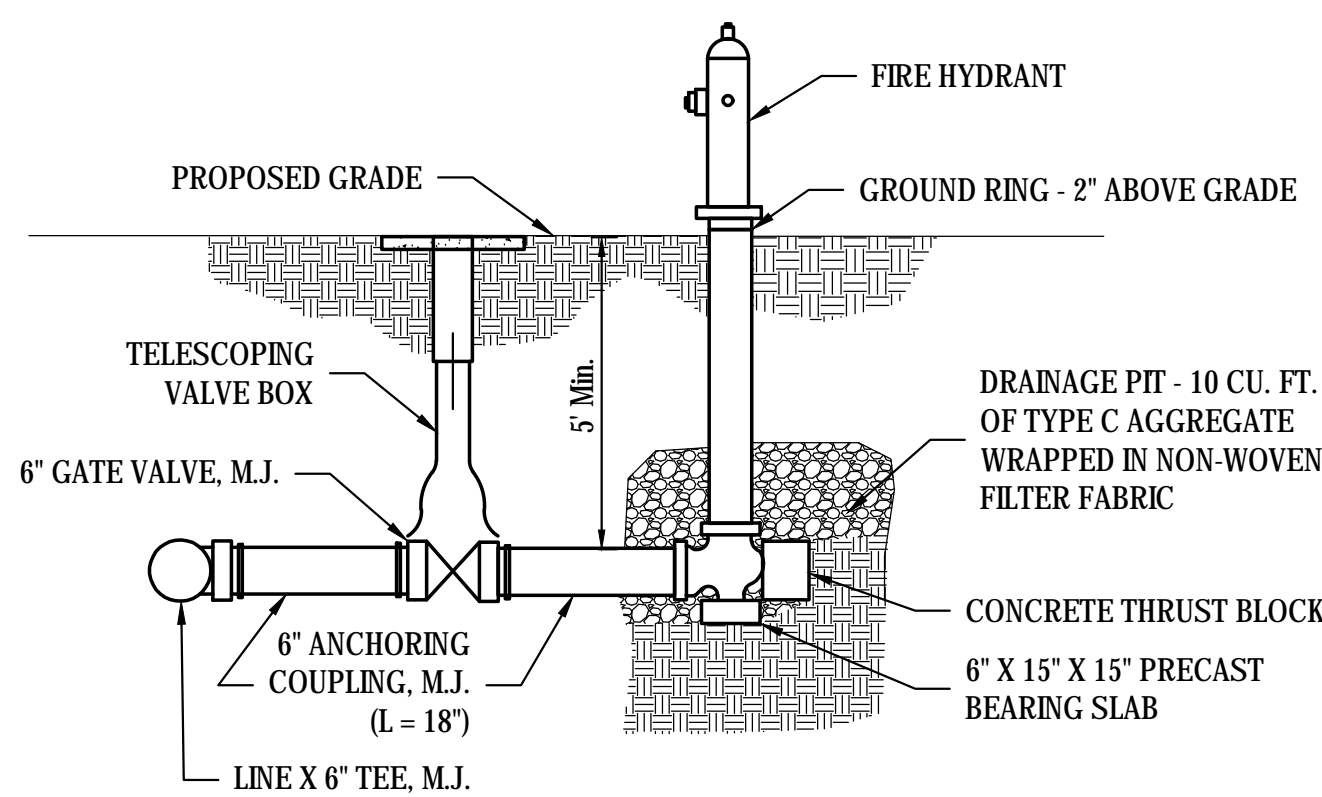
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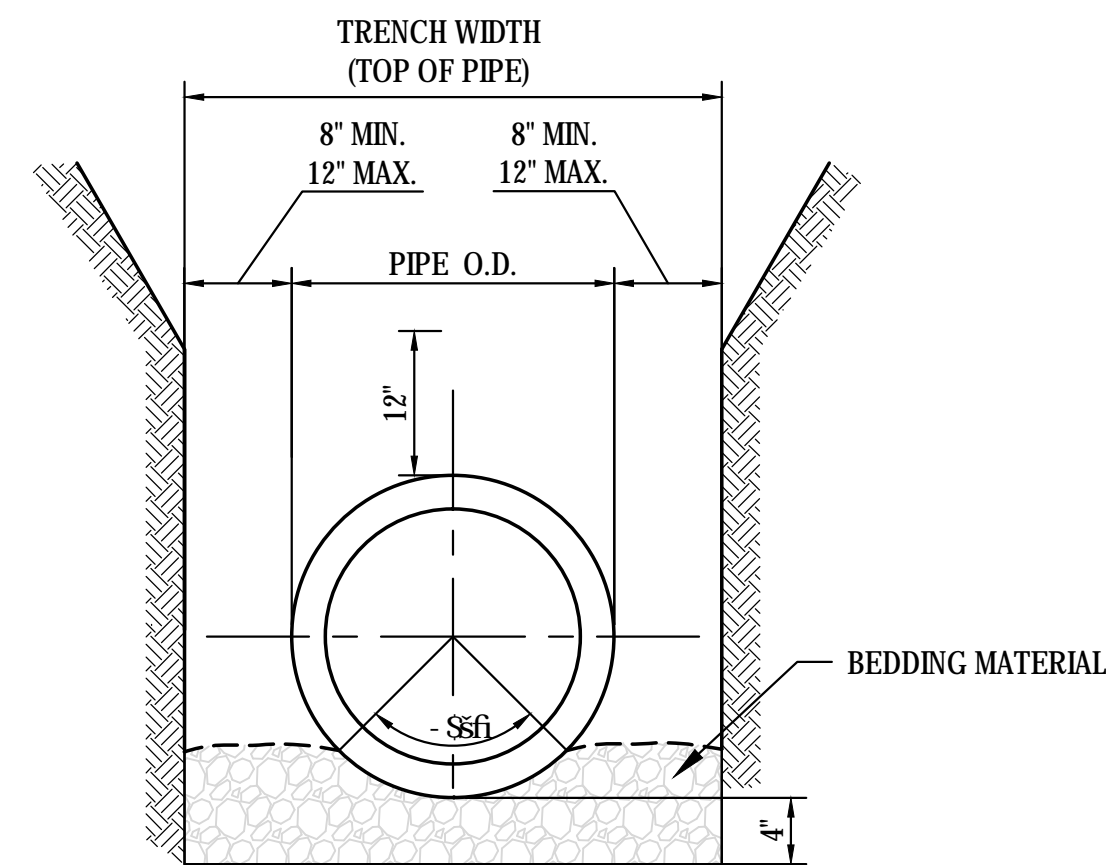
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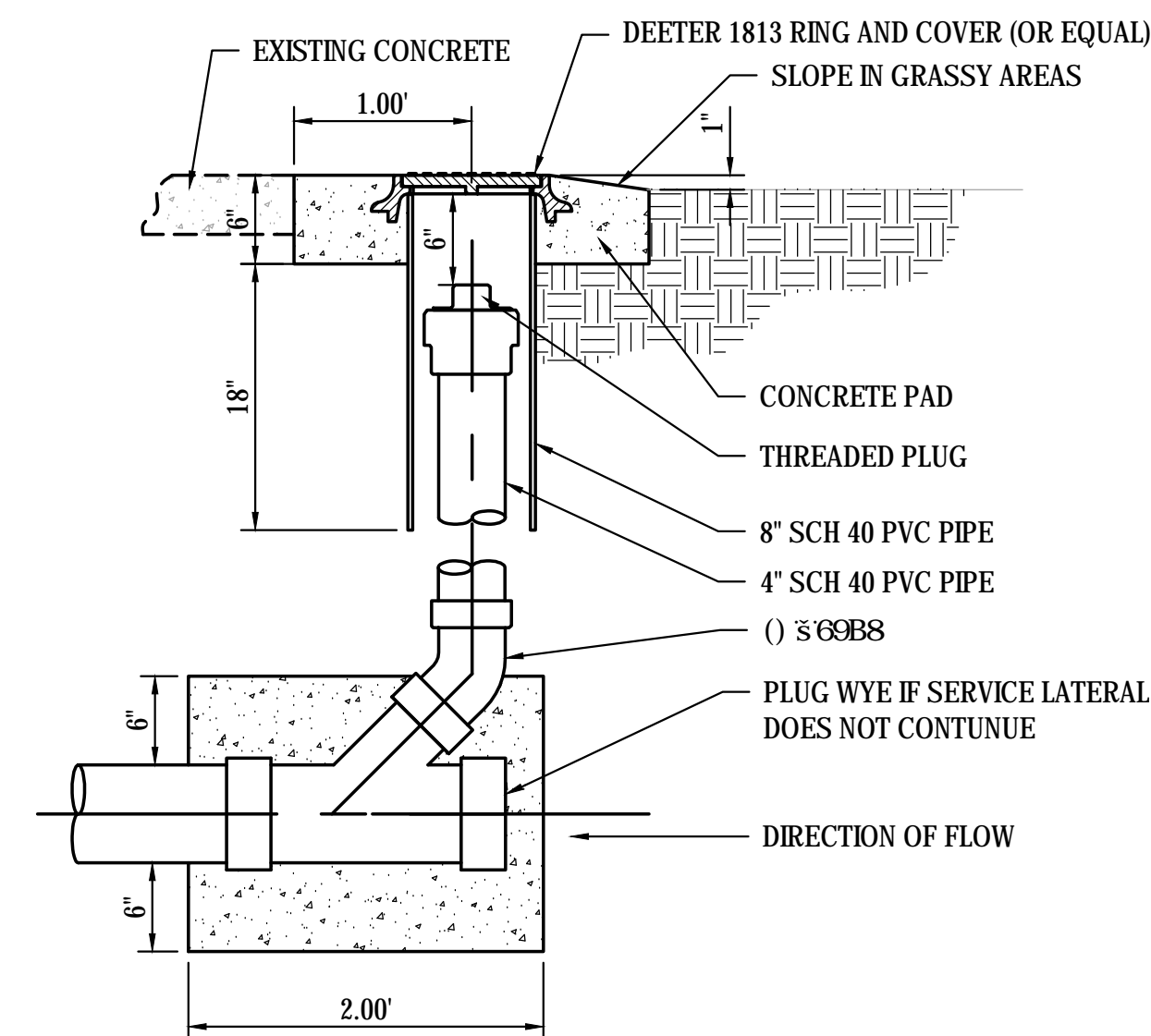


**FIRE HYDRANT ASSEMBLY DETAIL**  
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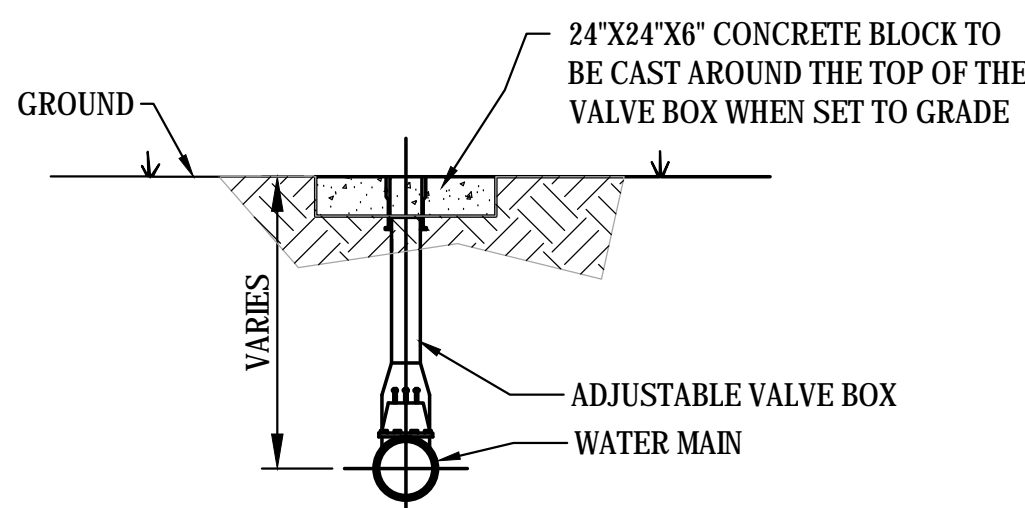


**BEDDING DETAIL FOR DUCTILE IRON AND CONCRETE PIPE**  
NOT TO SCALE

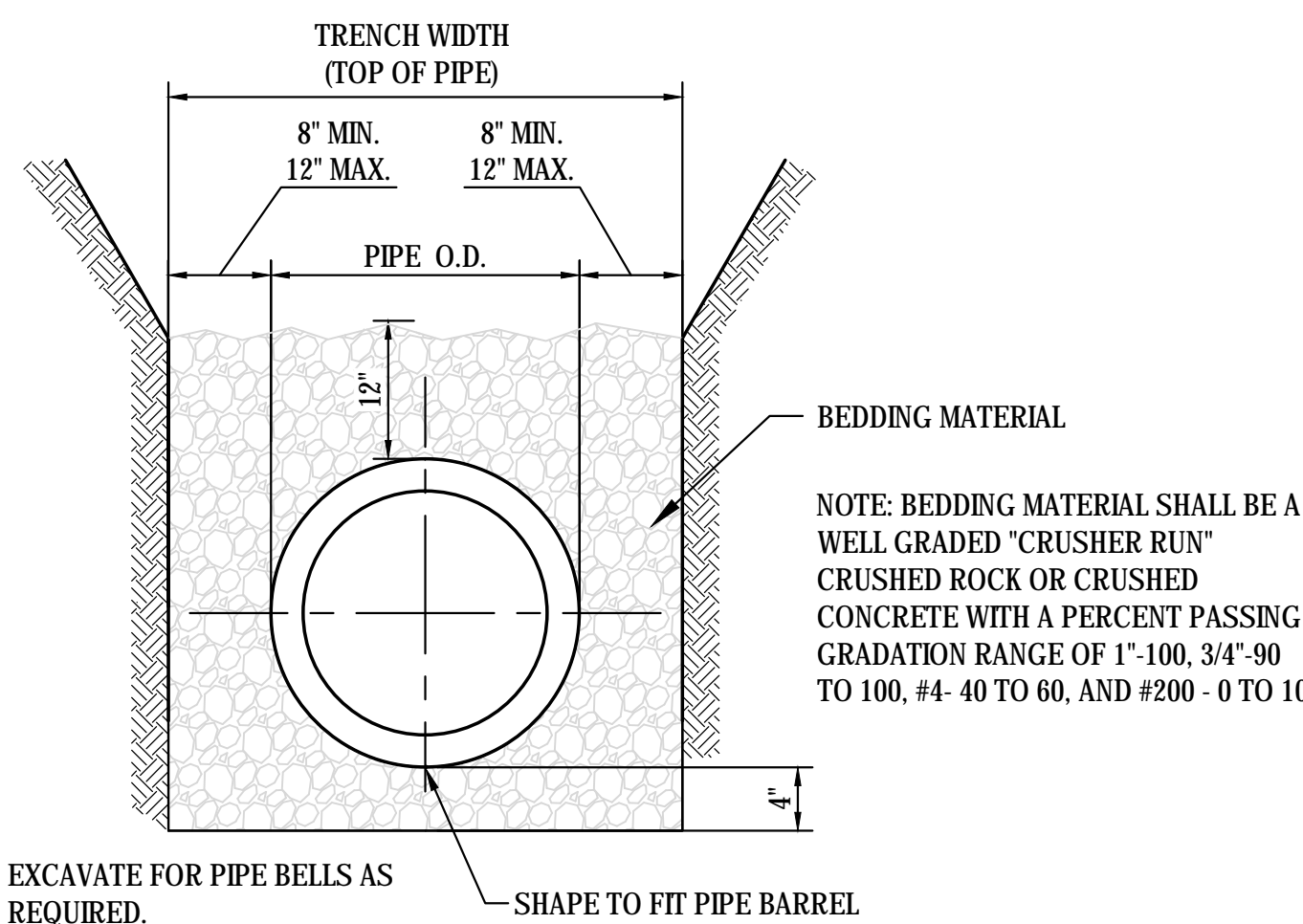
$\theta = 11\ 1/4^\circ$						$\theta = 22\ 1/2^\circ$					
DIA.	A	B	C	BAR SIZE	# OF BARS EACH WAY	STEEL LBS.	CONC. CU. YDS.	DIA.	A	B	C
6"	1'-3"	0'-9"	0'-9"	-	-	0	0.1	6"	1'-6"	0'-9"	1'-0"
8"	1'-4"	1'-0"	1'-0"	-	-	0	0.1	8"	1'-6"	1'-0"	1'-0"
12"	1'-6"	1'-0"	1'-0"	#4	3	4.0	0.1	12"	2'-3"	1'-0"	1'-0"
16"	2'-3"	1'-0"	1'-0"	#4	3	7.0	0.2	16"	3'-0"	1'-0"	1'-0"
$\theta = 45^\circ$						$\theta = 90^\circ$					
DIA.	A	B	C	BAR SIZE	# OF BARS EACH WAY	STEEL LBS.	CONC. CU. YDS.	DIA.	A	B	C
6"	1'-9"	1'-0"	1'-0"	-	-	0	0.2	6"	2'-3"	1'-0"	1'-0"
8"	2'-3"	1'-0"	1'-0"	-	-	0	0.2	8"	3'-0"	1'-0"	1'-0"
12"	3'-3"	1'-0"	1'-0"	#4	6	22.0	0.4	12"	4'-3"	1'-0"	1'-3"
16"	4'-3"	1'-0"	1'-3"	#5	8	46.9	0.9	16"	5'-9"	1'-0"	1'-4"



**SANITARY SEWER CLEANOUT DETAIL**  
NOT TO SCALE

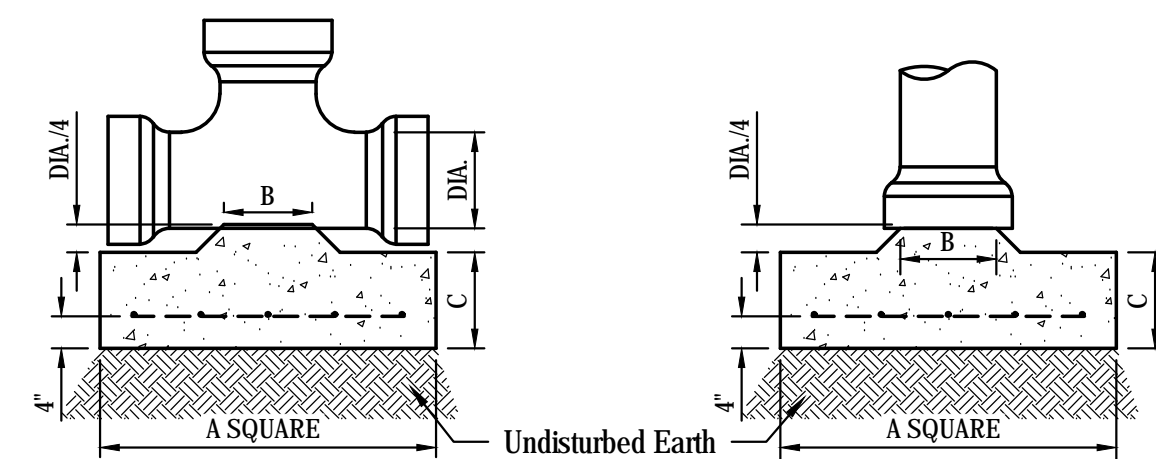


**VALVE BOX SETTING**  
NOT TO SCALE



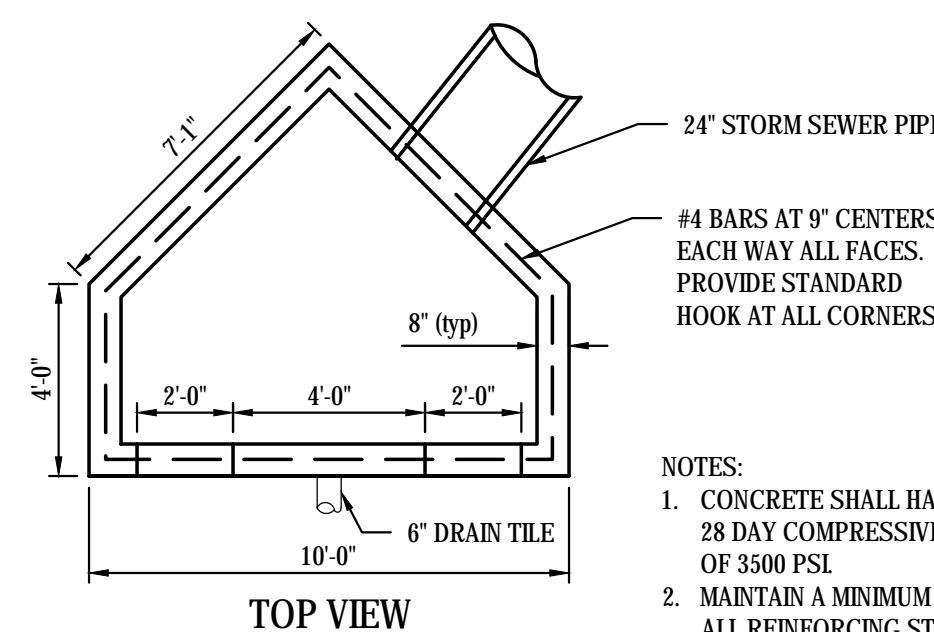
**BEDDING DETAIL FOR PVC & HDPE PIPE**  
NOT TO SCALE

**NOTE:**  
WRAP ALL JOINTS WITH POLYWRAP PRIOR TO PLACING CONCRETE BACKING BLOCKS  
  
COVER ALL STRAPS AND BEAMS OUTSIDE OF CONCRETE WITH POLYWRAP OR TAPE

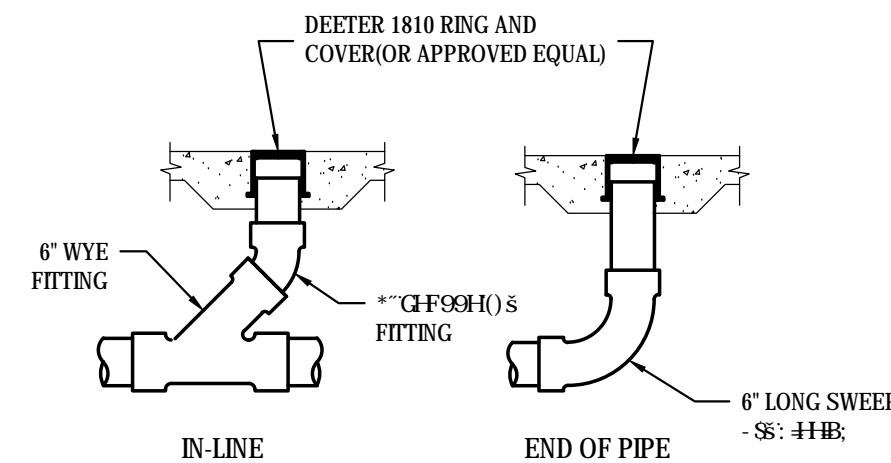


TEE AND PLUG BLOCKS					
DIA.	A	B	C	BAR SIZE	# OF BARS EACH WAY
6"	1'-9"	0'-8"	0'-8"	-	0
8"	2'-3"	0'-9"	0'-9"	-	0
12"	3'-4"	1'-0"	1'-0"	#4	6
16"	4'-6"	1'-3"	1'-3"	#4	8

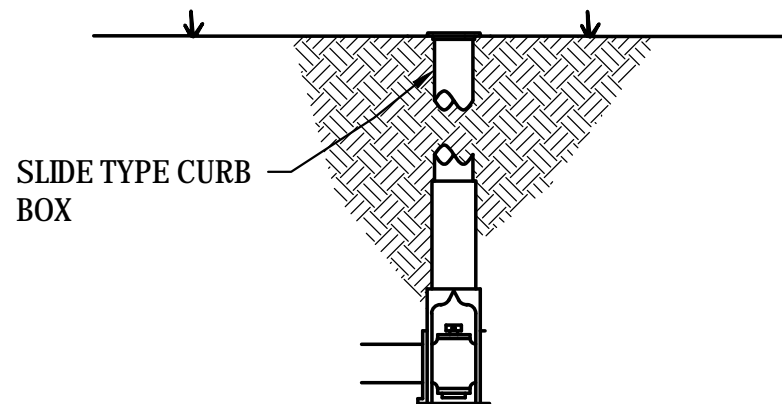
**REINFORCED CONCRETE THRUST RESTRAINT DETAILS**  
NOT TO SCALE



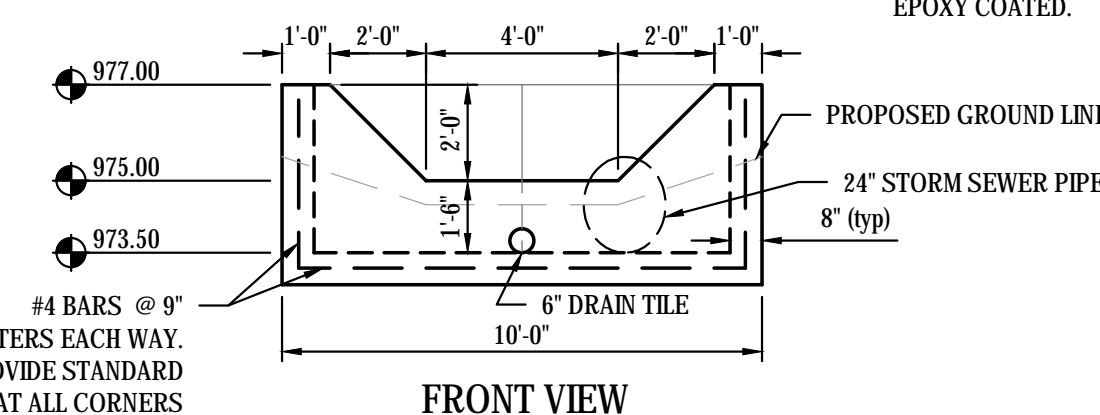
- NOTES:**
1. CONCRETE SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI.
  2. MAINTAIN A MINIMUM 3" COVER ON ALL REINFORCING STEEL.
  3. REINFORCING STEEL SHALL BE EPOXY COATED.



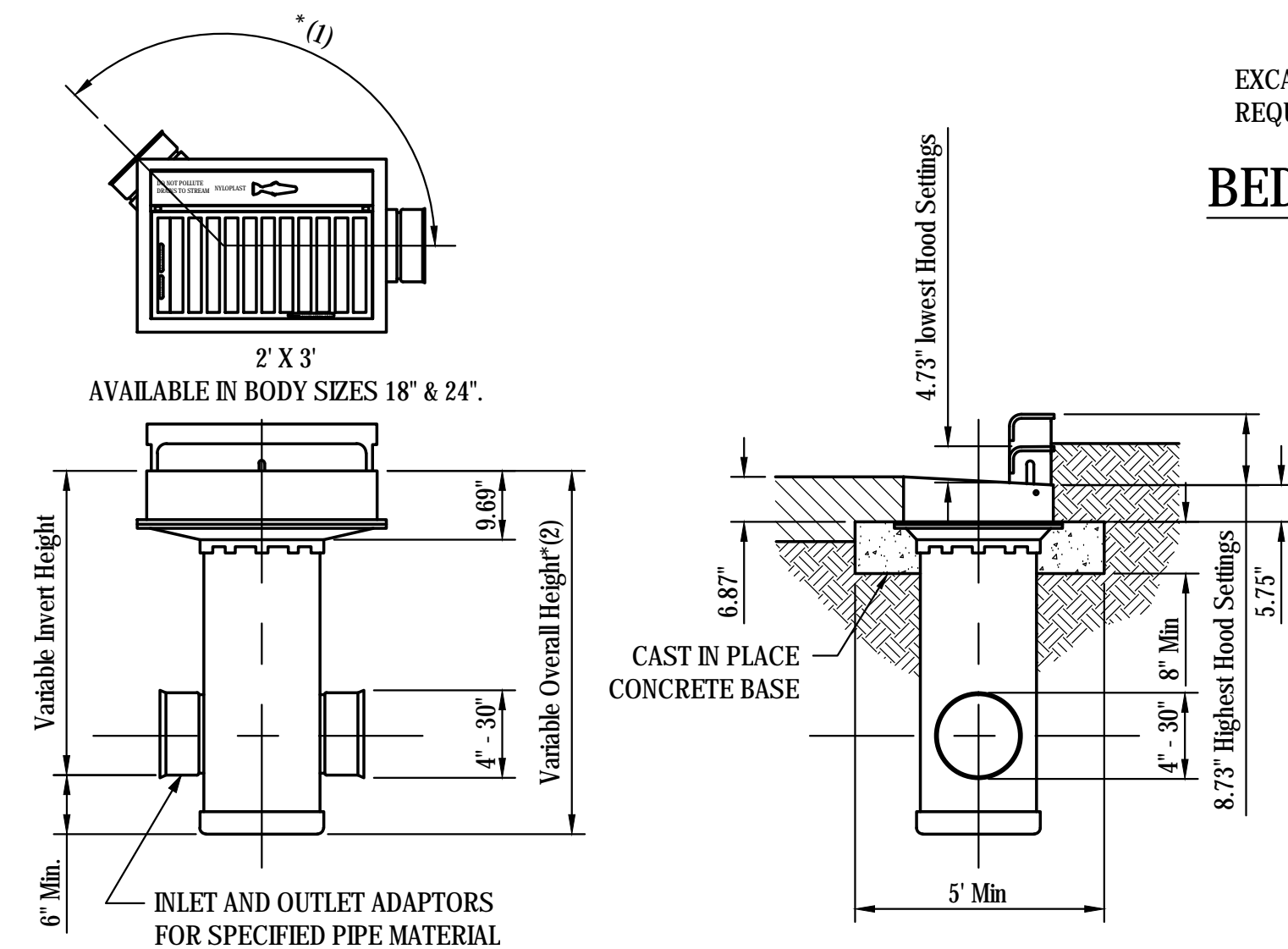
**STORM SEWER CLEAN-OUT**  
NOT TO SCALE



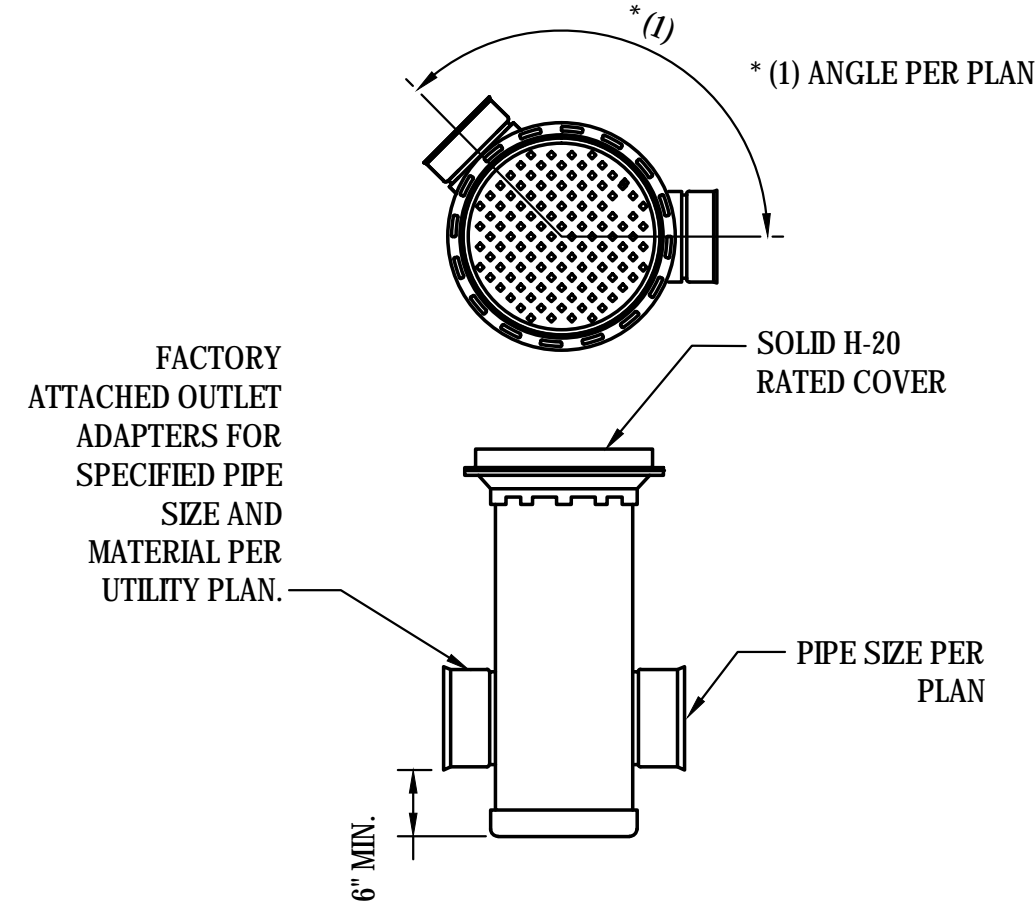
**CURB STOP DETAIL**  
NOT TO SCALE



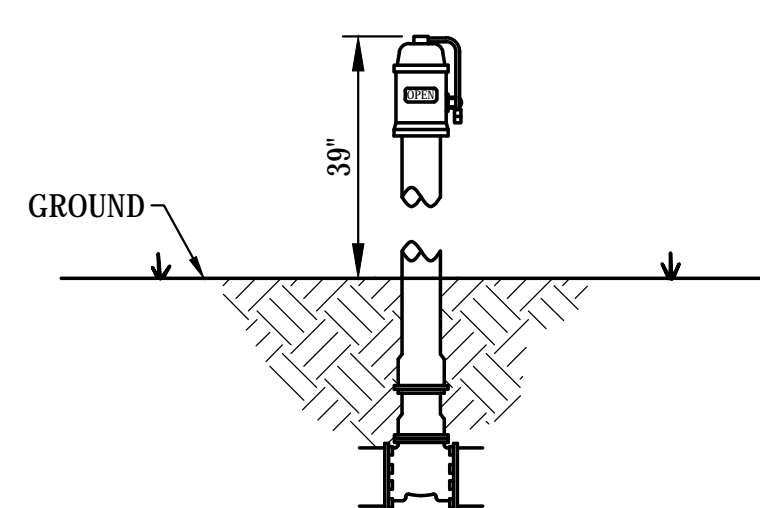
**DETENTION OUTLET WEIR STRUCTURE**  
NOT TO SCALE



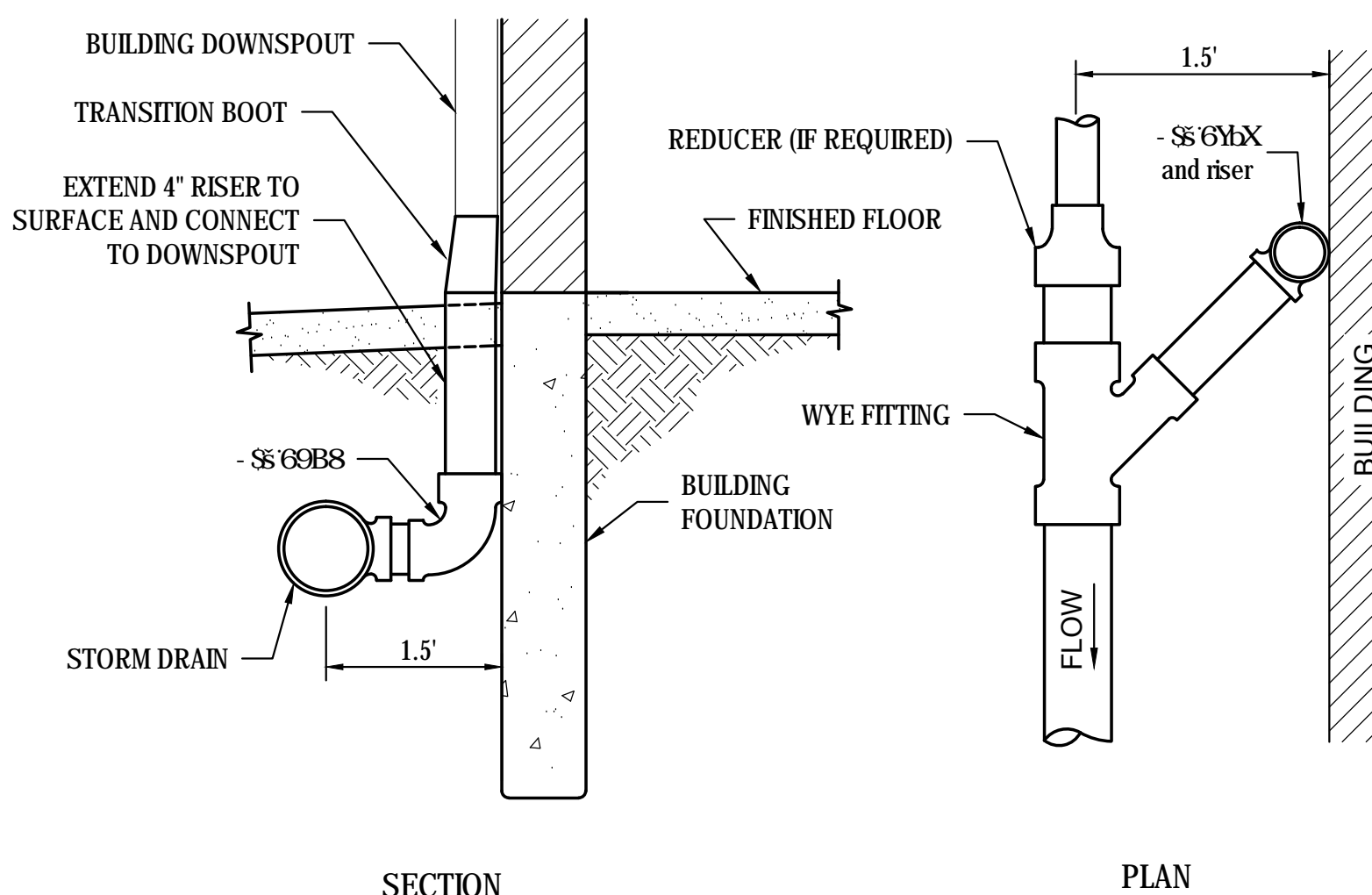
**NYLOPLAST CURB INLET DETAIL**  
NOT TO SCALE



**NYLOPLAST BASIN DETAIL**  
NOT TO SCALE



**POST INDICATOR VALVE DETAIL**  
NOT TO SCALE



**STORM SEWER DOWNSPOUT CONNECTION**  
NOT TO SCALE



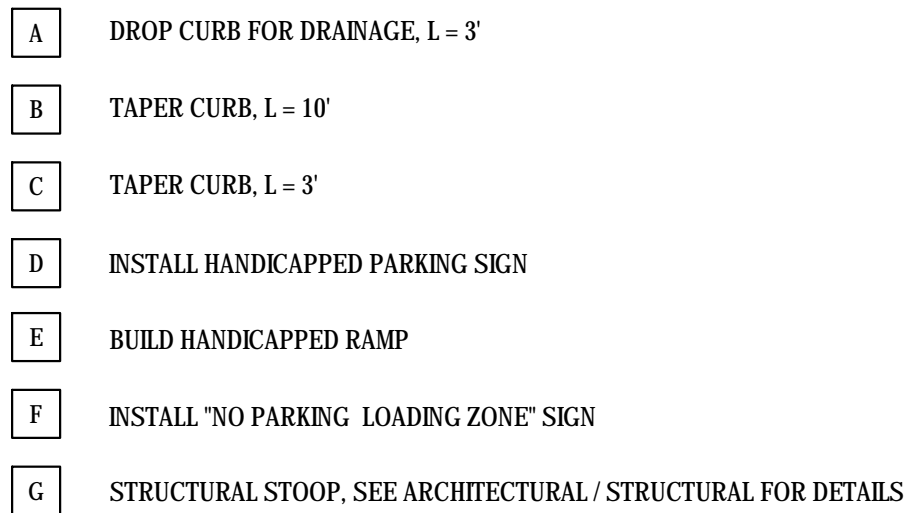


NOT TO SCALE



PARKING CALCULATIONS		
DESCRIPTION	REQUIRED	PROVIDED
TOTAL STALLS (1 PER GUEST ROOM)	85	85
HANDICAPPED STALLS	4	4
VAN ACCESSABLE	1	2

1. CURB RAMPS WITH DETECTABLE WARNINGS SHALL BE CONSTRUCTED WHERE A SIDEWALK ENTERS A STREET AND ANY SIGNALIZED INTERSECTIONS OR DRIVEWAYS.
2. H-9-A5.1-A.1 F5ADQ-CDQC-5000G-3AA H 1" L
3. THE MINIMUM RAMP LENGTH SHALL BE ONE FOOT OF LENGTH PER INCH OF CURB HEIGHT MEASURED ALONG THE STEEPEST EDGE OF THE RAMP.
4. A 4' X 4' LANDING/MANEUVERING AREA SHALL BE CONSTRUCTED AT THE TOP OF THE RAMP. THE MAXIMUM CROSS SLOPE SHALL BE 2%.
5. DETECTABLE WARNINGS SHALL CONFORM TO A.D.A. REQUIREMENTS AND EXTEND THE FULL WIDTH OF THE RAMP. WARNINGS SHALL BE LOCATED WITH THE NEAREST EDGE 1' FROM THE CURBLINE.
6. ALL CURB RAMPS SHALL BE DESIGNED FOR POSITIVE DRAINAGE.
7. DETAILS SHOWN ARE NOT INTENDED TO ADDRESS ALL SITUATIONS. ALL WORK SHALL BE IN COMPLIANCE WITH A.D.A. GUIDELINES.



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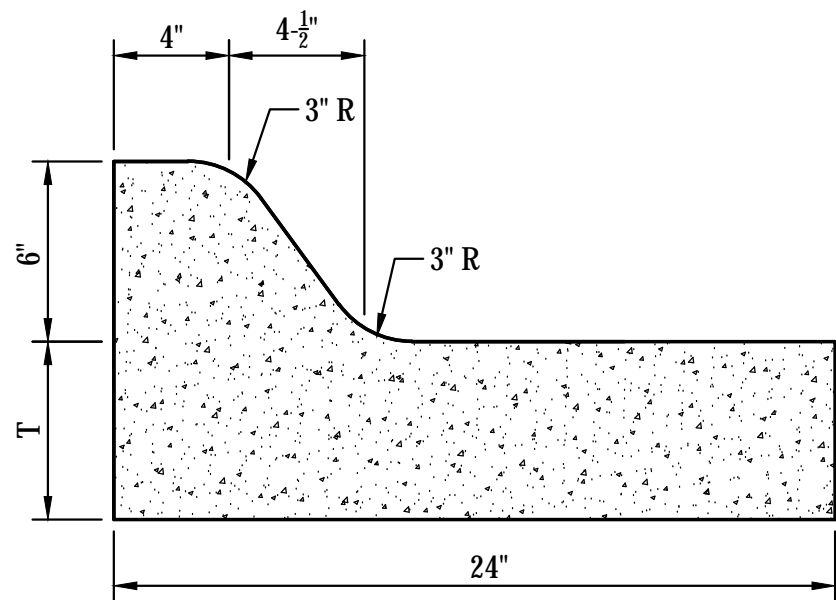
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## SITE PAVING PLAN

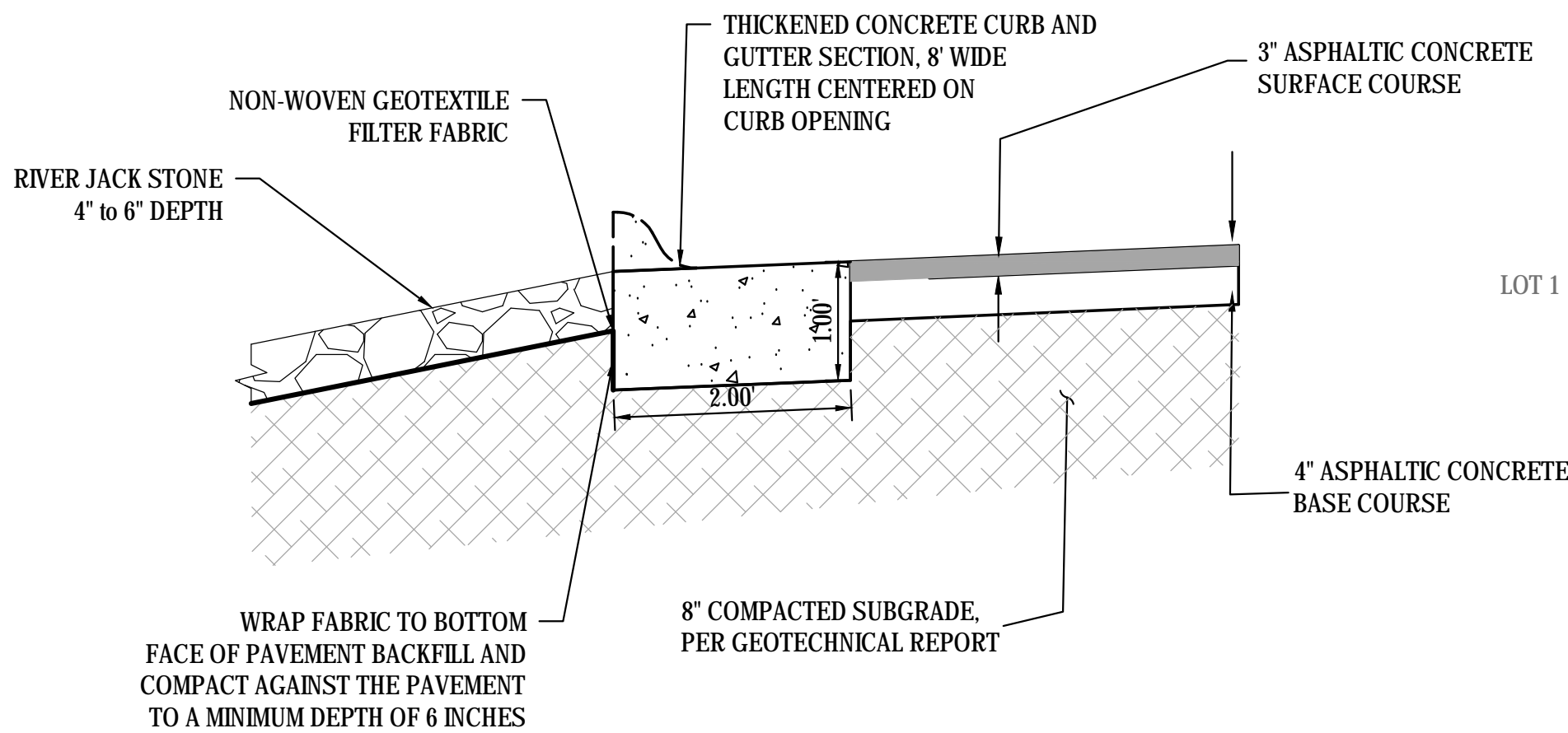
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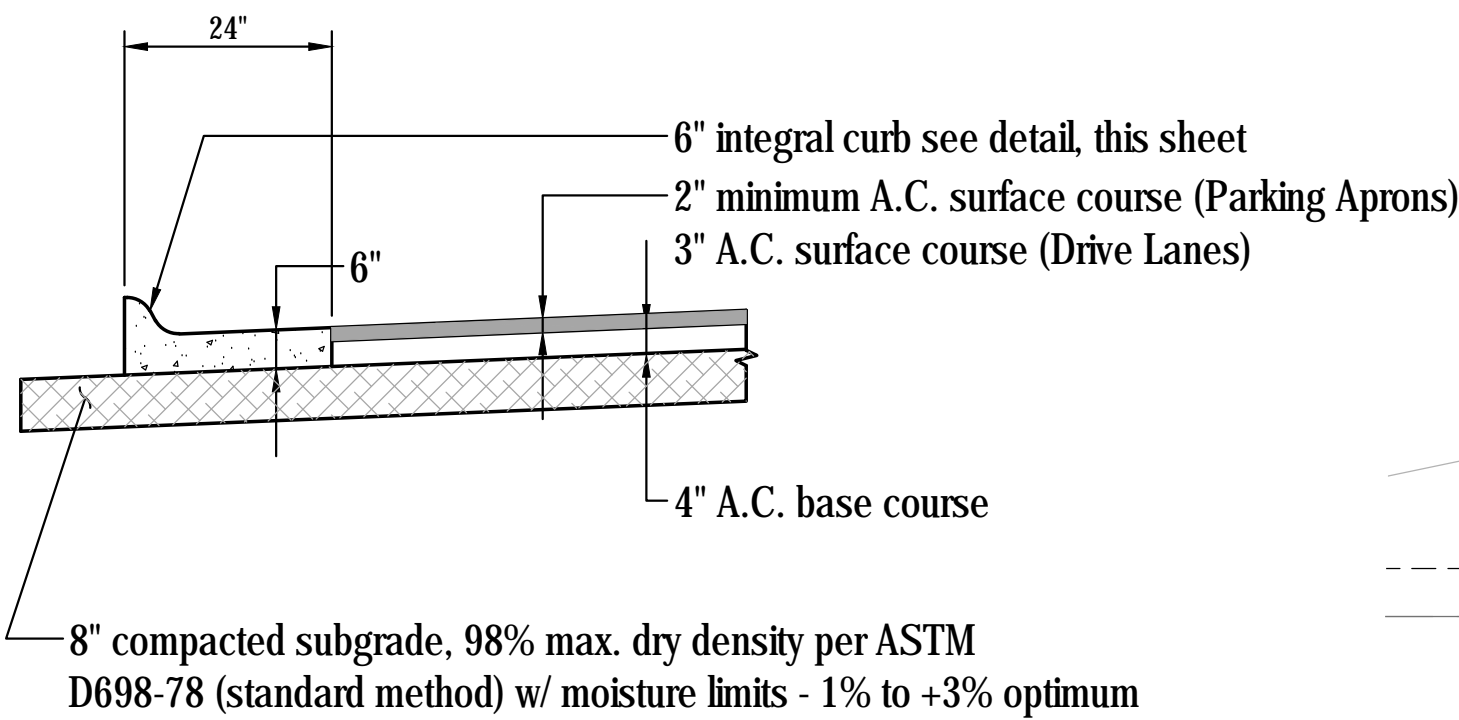




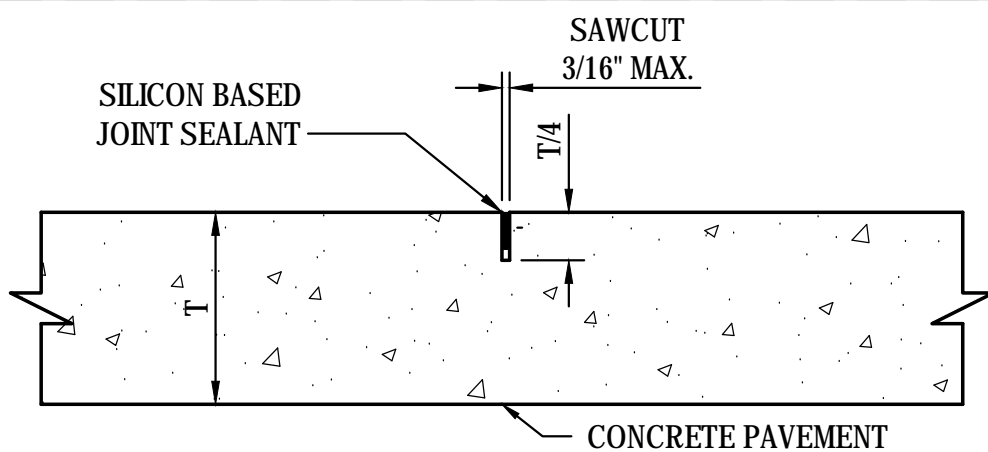
CONCRETE CURB AND GUTTER DETAIL  
NOT TO SCALE



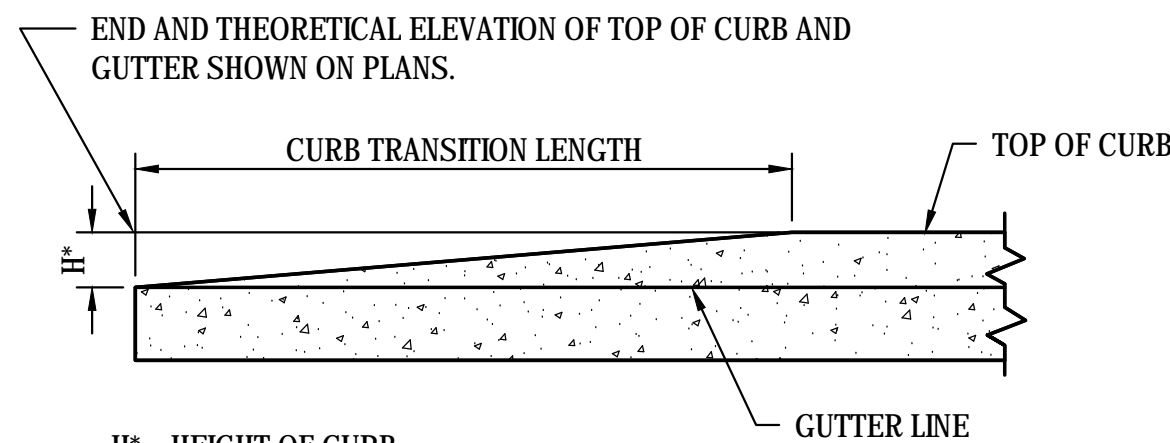
COBBLE LINED FLUME DETAIL  
NOT TO SCALE



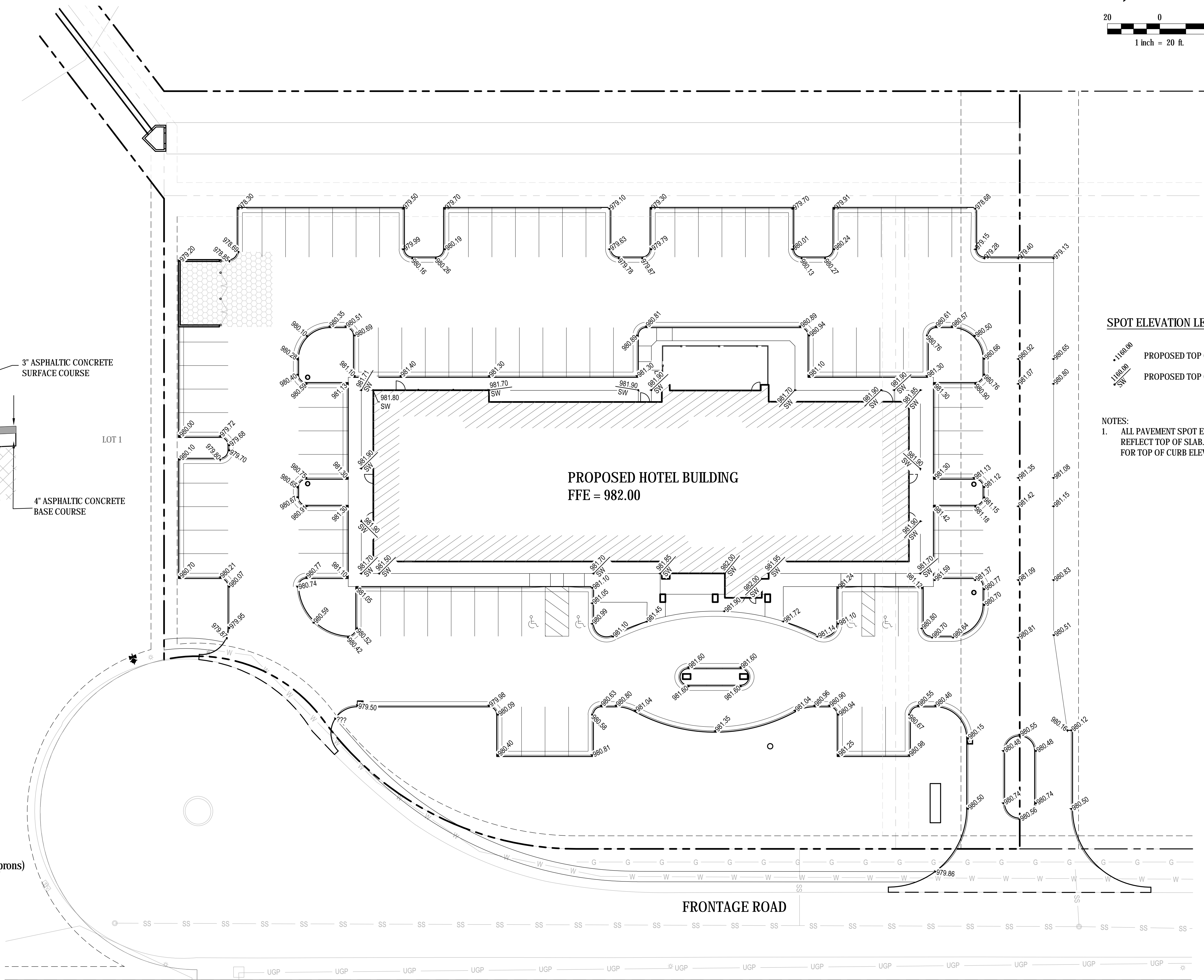
PAVEMENT DETAIL  
NOT TO SCALE



SAWED CONTRACTION JOINT  
NOT TO SCALE



CURB TAPER DETAIL  
NOT TO SCALE



SPOT ELEVATION LEGEND

- 1.000.00 PROPOSED TOP OF PAVEMENT  
1.000.00 SW PROPOSED TOP OF SIDEWALK

- NOTES:  
1. ALL PAVEMENT SPOT ELEVATIONS REFLECT TOP OF SLAB. ADD 0.50' FOR TOP OF CURB ELEVATIONS.

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**e+a**  
**Engineering Answers**  
E & A CONSULTING GROUP, INC.  
7130 South 29th Street, Suite D  
Lincoln, NE 68516  
402-420-7217

REVISIONS

PAVING SPOT  
ELEVATION  
PLAN

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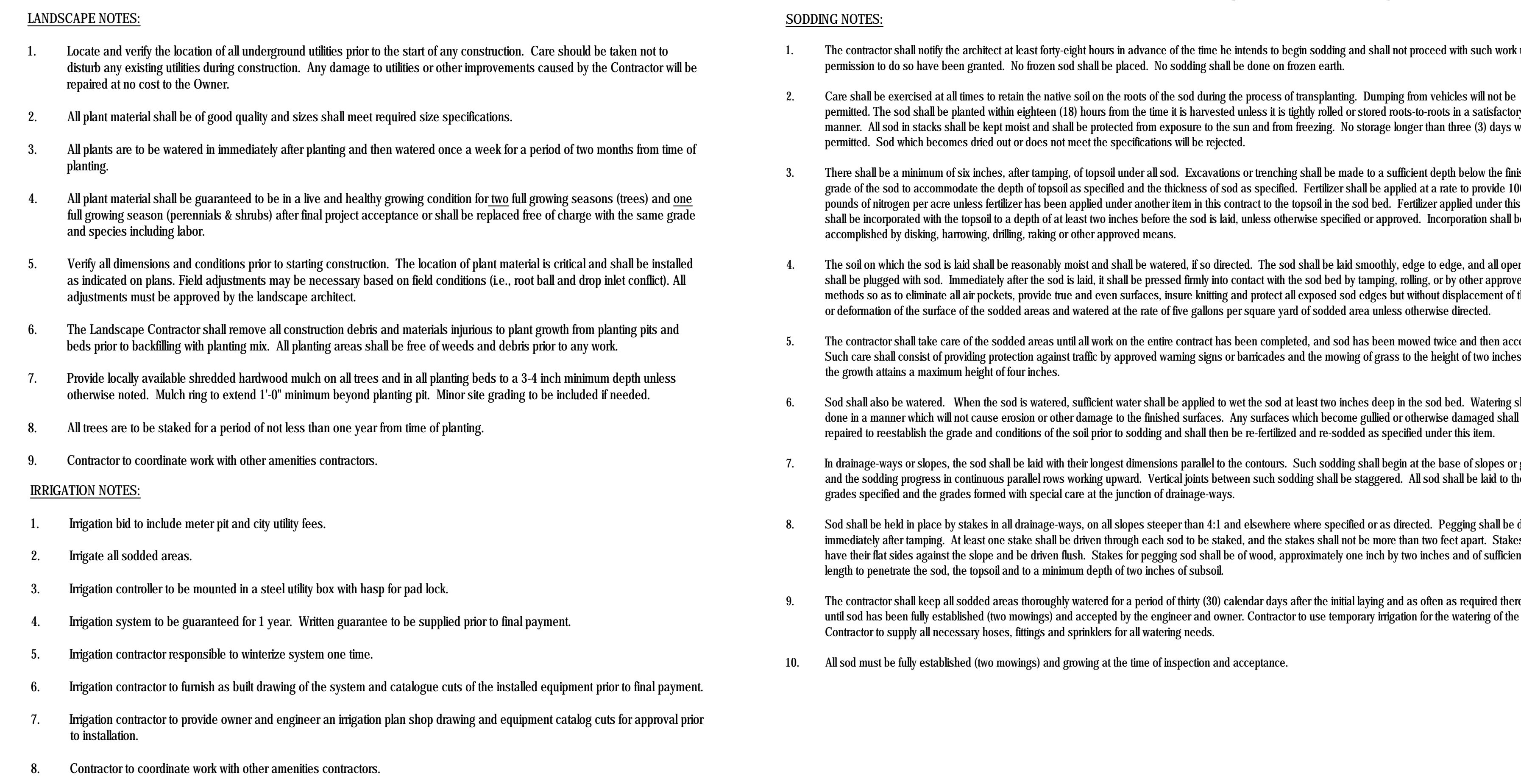
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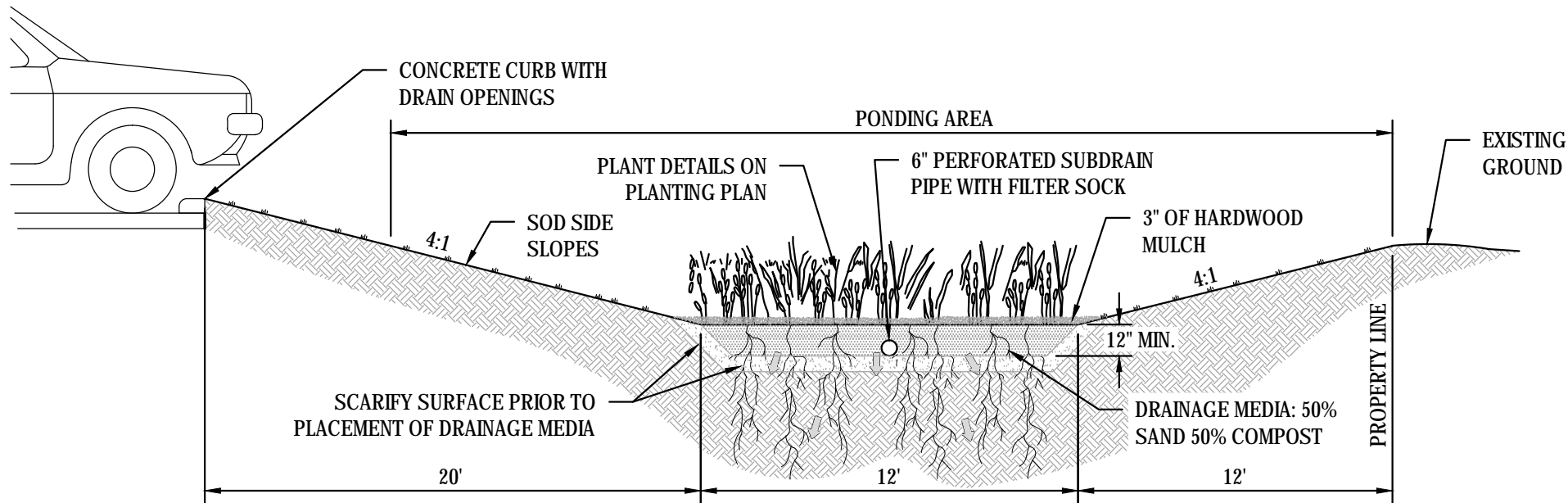




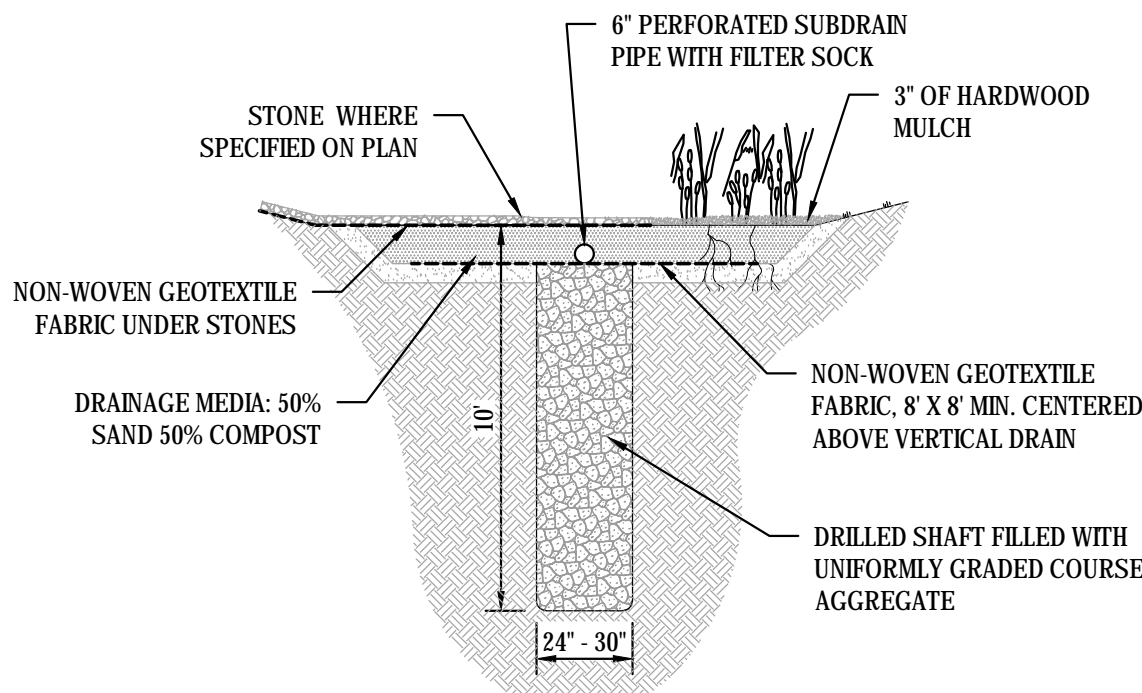
RAINGARDEN MAINTENANCE ACTIVITIES	FREQUENCY / NOTES
SEDIMENT PREVENTION (FROM SURROUNDING AREAS)	KEEP WATCH ON OUT PARCELS AND PARKING LOT USE ASSURE A STABLE WATERSHED BEFORE INSTALLATION
SEDIMENT REMOVAL (FROM GARDEN & INLET)	AS NEEDED
WATER PLANTS (PLANTS WILL NEED 1 INCH / WEEK DURING THE 1ST YEAR)	RIGHT AFTER PLANTING, DURING THE 1ST SEASON, AND DURING TIME OF DROUGHT
WEEDING / PRUNING BY HAND	DURING VEGETATION ESTABLISHMENT AND ON REGULAR BASIS ONCE ESTABLISHED
PLANT REPLACEMENT	REPLANT VEGETATION AS NEEDED. MONITOR PLANT HEALTH, ESPECIALLY RIGHT AFTER PLANTING
FERTILIZE & PESTICIDE	NEVER! RUNOFF IS NUTRIENT RICH AND THE RAINGARDEN SHOULD REMOVE CHEMICALS
TRASH REMOVAL	FREQUENTLY (WEEKLY OR SO) INSPECT FOR AND REMOVE DEBRIS AND TRASH, INCLUDING PET WASTE
PERIMETER MOWING	AS NEEDED - DO NOT BLOW GRASS CLIPPINGS INTO THE RAINGARDEN (MAY ADD EXTRA NUTRIENTS)

BIOSWALE NOTES:

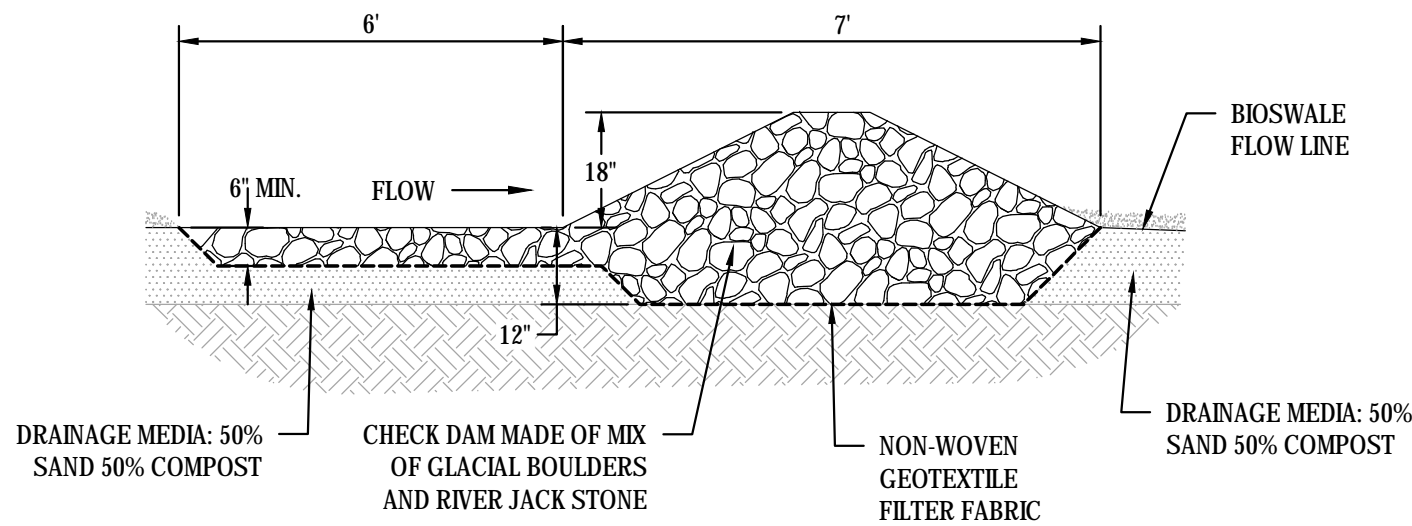
1. Fine grading and placement of drainage media in the bioswale shall not be completed until parking lot paving is completed and upstream areas have been stabilized.
2. Prior to placement of drainage media, all accumulated sediment shall be removed from cell and the bottom scarified to a depth of 6 inches.
3. If the vertical drains are installed prior to final grading and placement of sand/compost drainage media, care shall be taken to avoid mixing of soil or other fine grained material with the rock drainage media.
4. Placement of the sand/compost drainage media and stone check dams shall be performed in such a way to avoid compaction of the underlying subgrade.
5. The sand/compost drainage media shall be thoroughly mixed prior to placement.
6. Side slopes of the bioswale shall be sodded or seeded and hydromulched immediately following placement of the sand/compost drainage media.



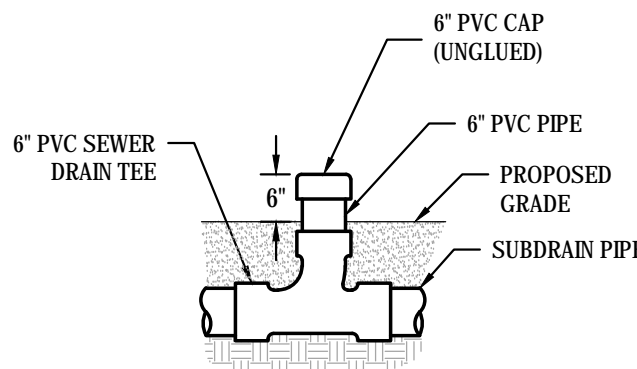
BIOSWALE DETAIL  
TYPICAL CROSS SECTION  
NOT TO SCALE



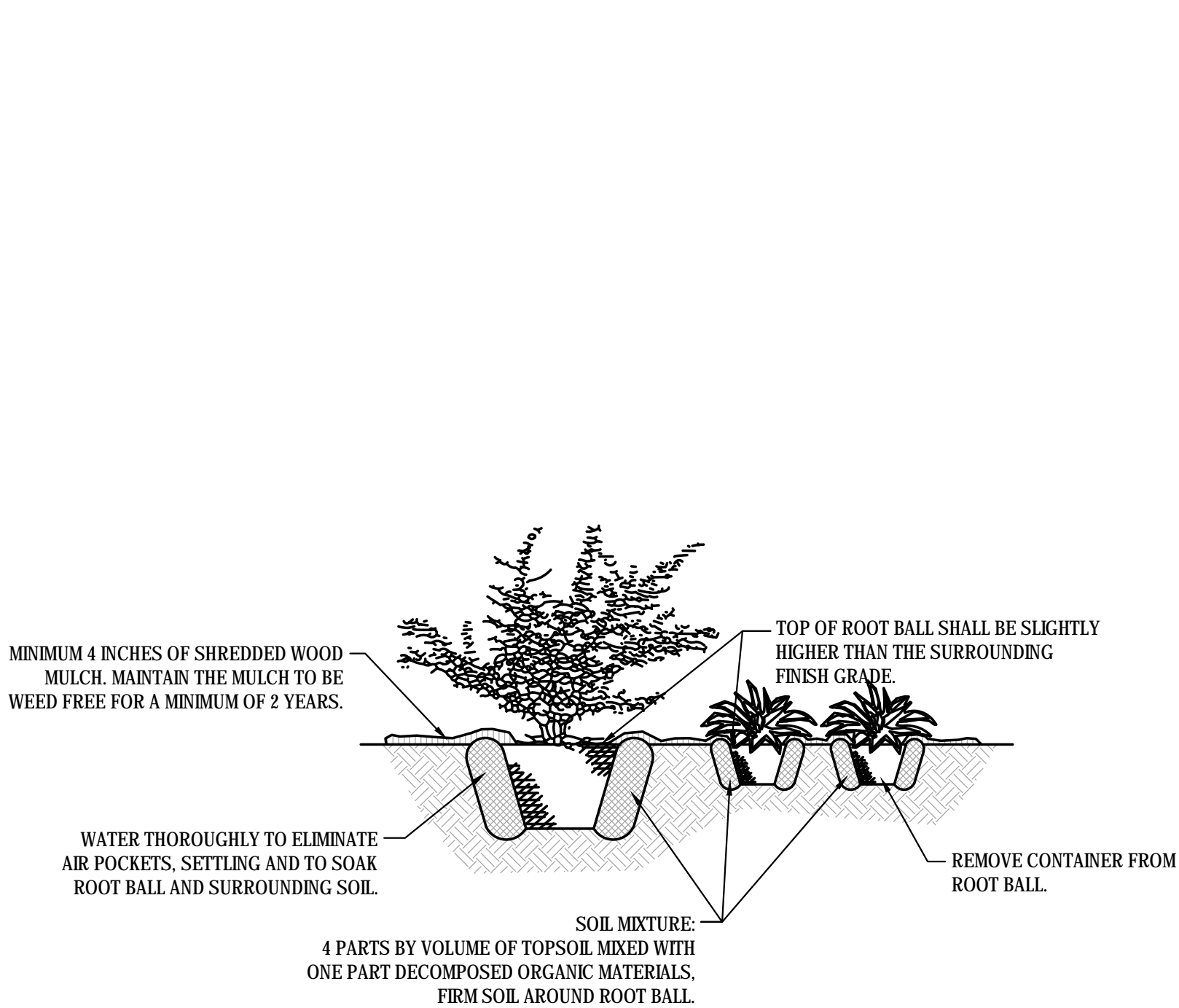
VERTICAL DRAIN DETAIL  
TYPICAL CROSS SECTION  
NOT TO SCALE



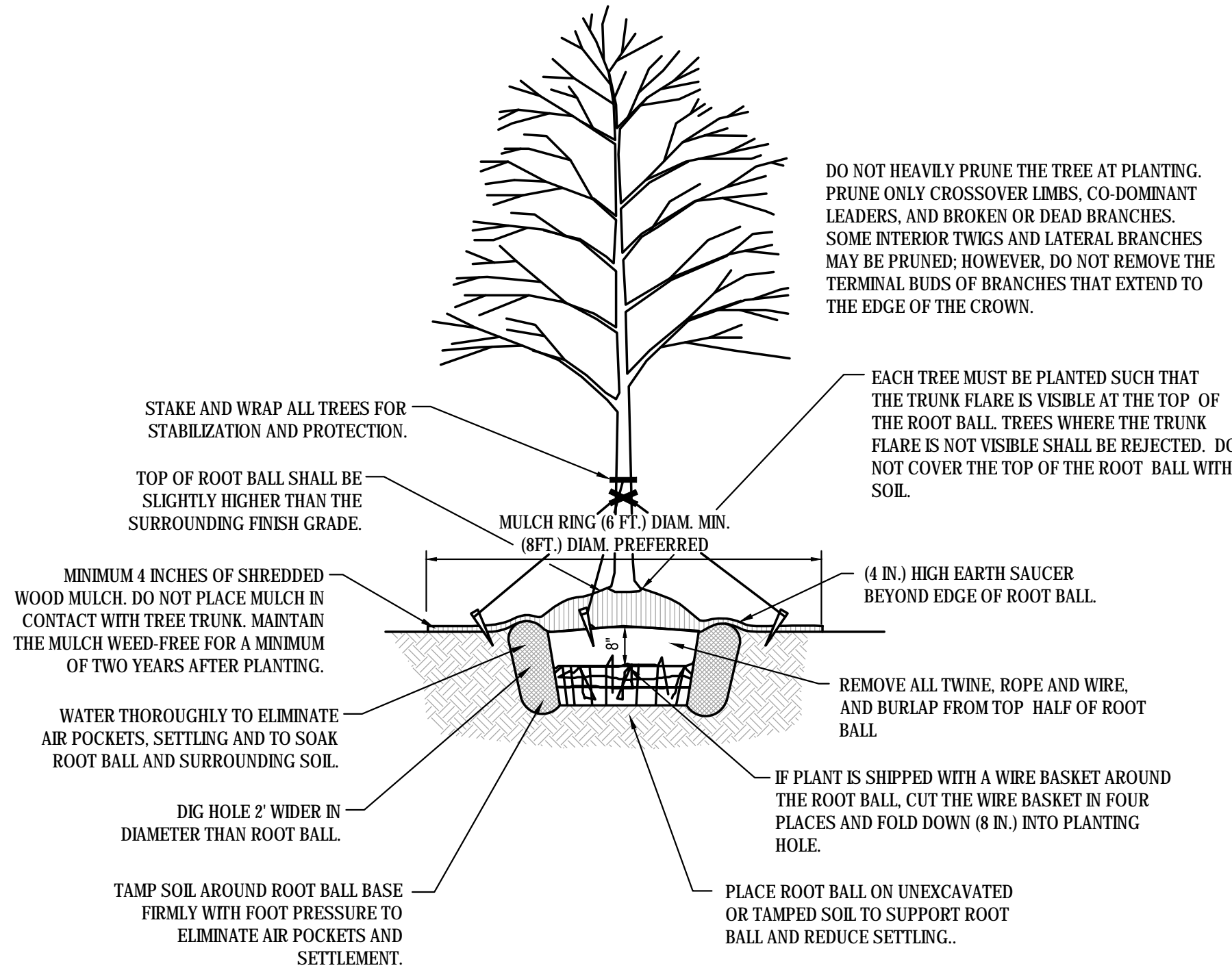
PERMEABLE DITCH CHECK  
TYPICAL CROSS SECTION  
NOT TO SCALE



SUBDRAIN CLEAN-OUT  
NOT TO SCALE



SHRUB & PERENNIAL PLANTING DETAIL  
NOT TO SCALE



TREE PLANTING DETAIL - B & B TREE  
NOT TO SCALE





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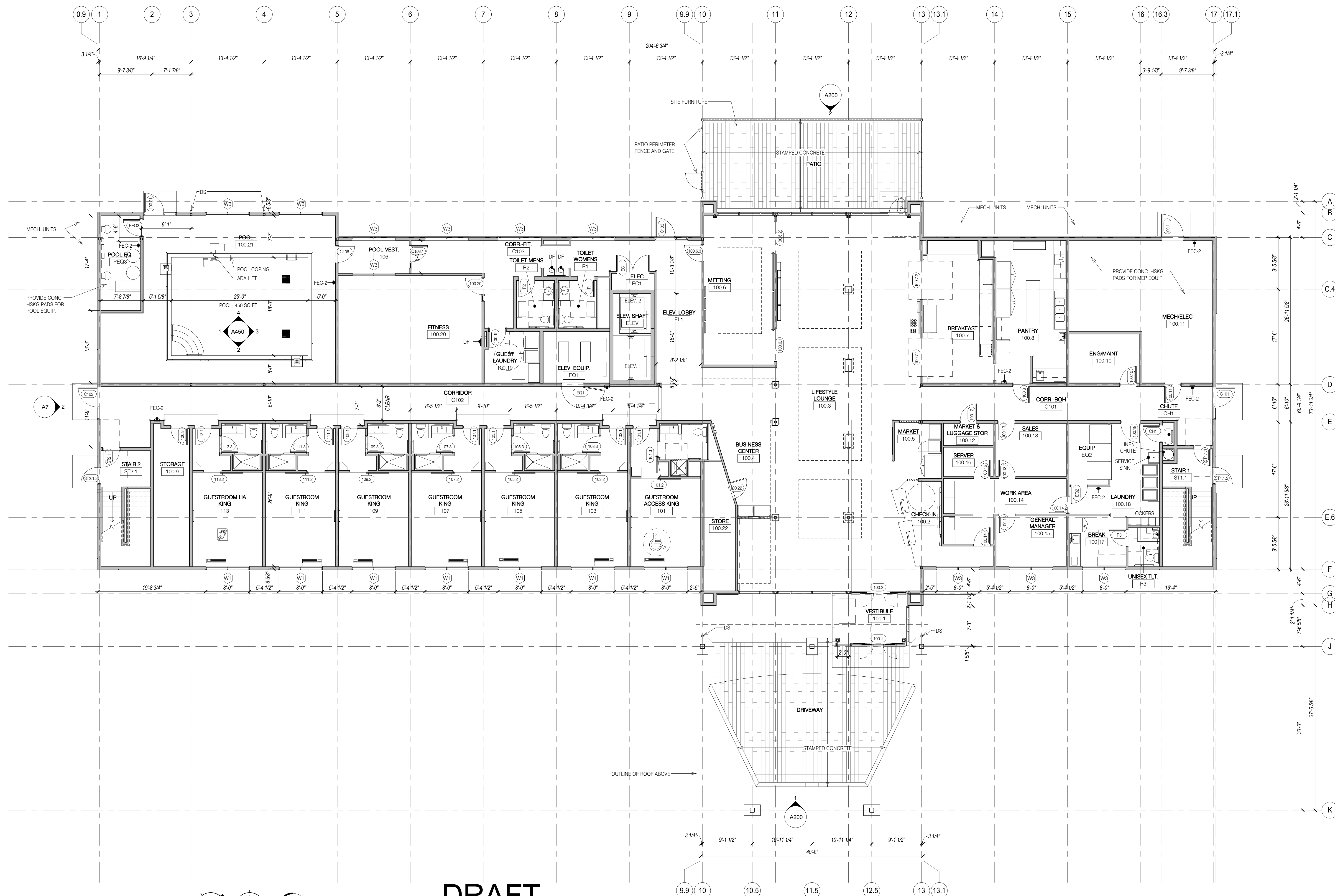
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## REVISIONS

## FLOOR PLAN - LEVEL 1

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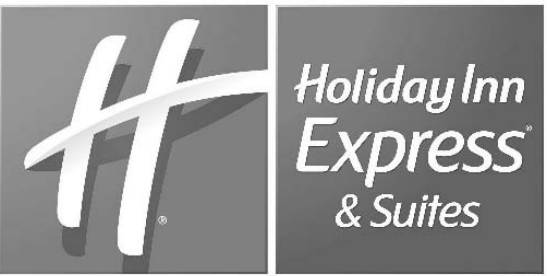
A111



FLOOR PLAN - LEVEL 1  
SCALE: 1/8" = 1'-0"

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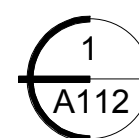
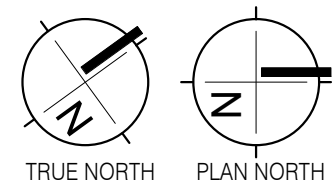
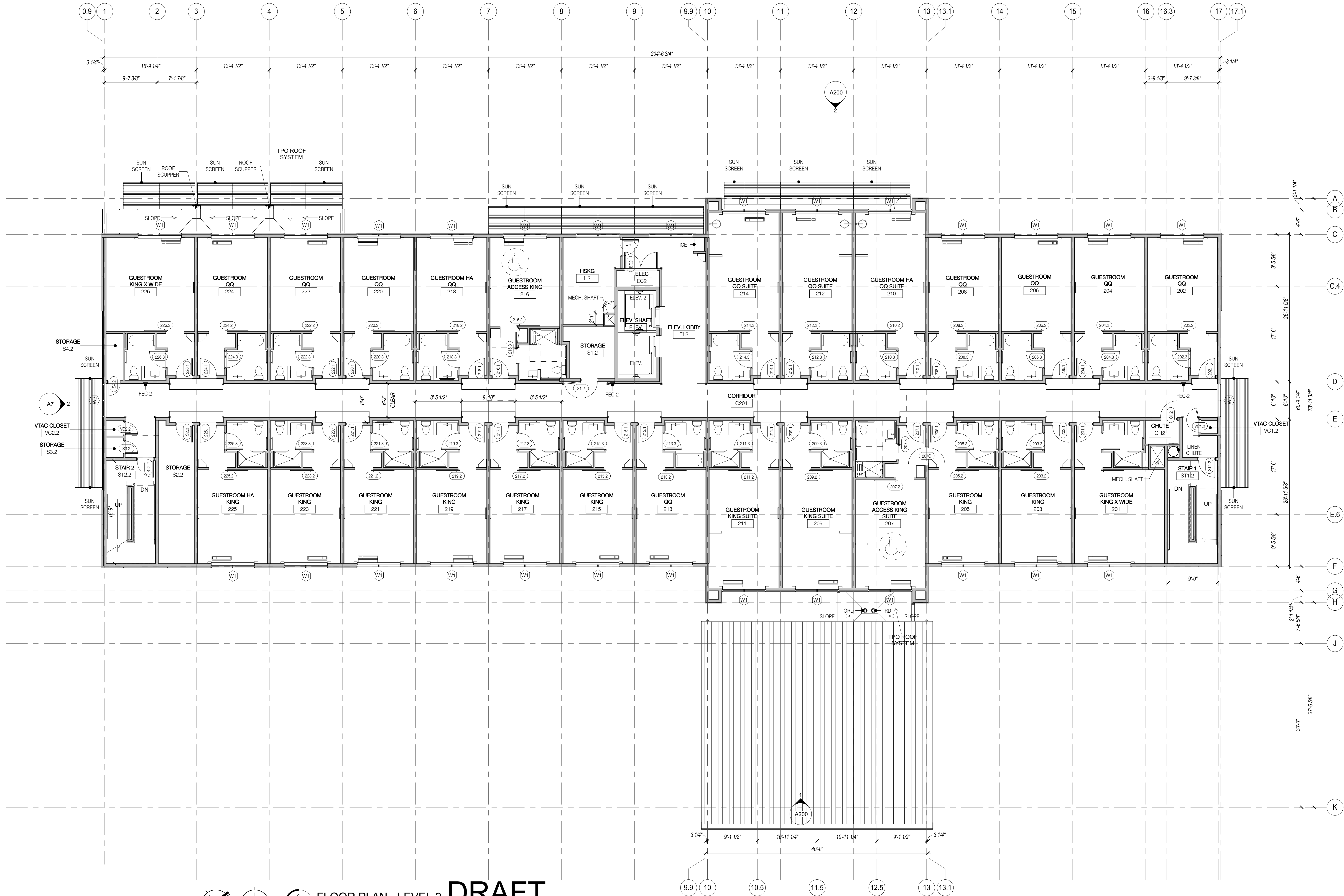
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REVISIONS

FLOOR PLAN -  
LEVEL 2

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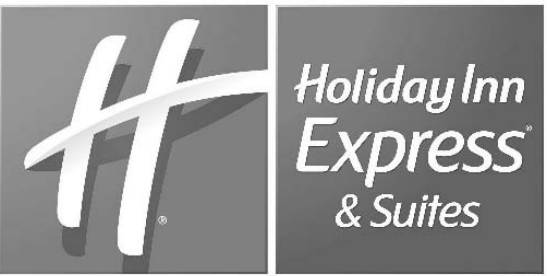
A112



FLOOR PLAN - LEVEL 2  
SCALE: 1/8" = 1'-0"

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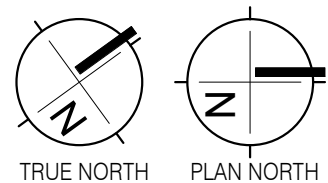
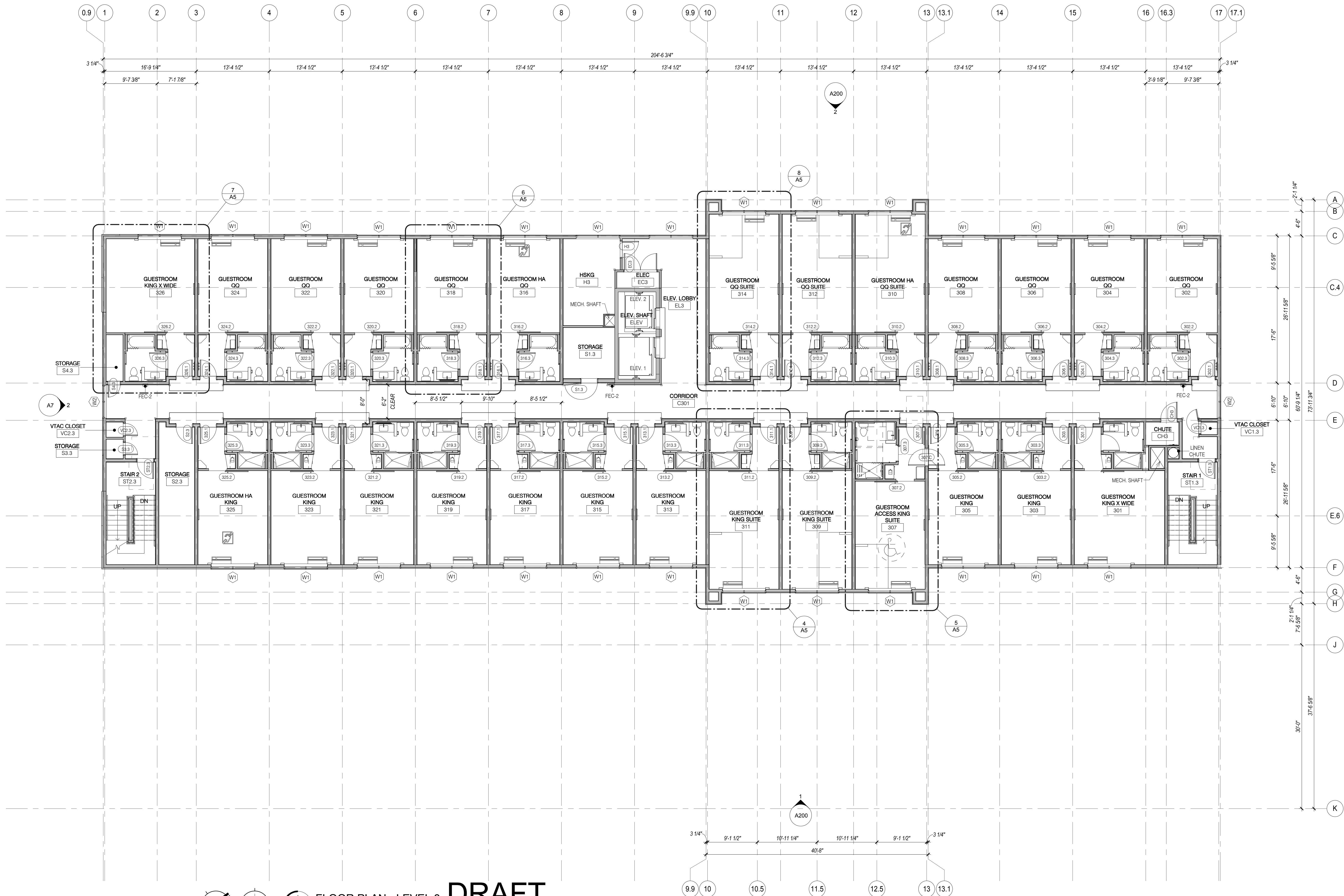
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REVISIONS

**FLOOR PLAN -  
LEVEL 3**

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**A113**

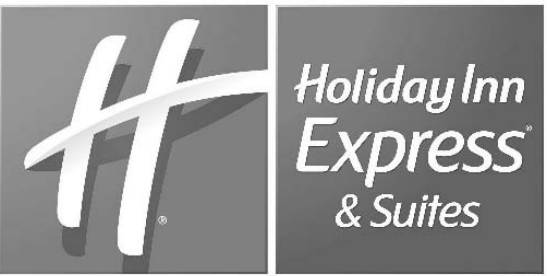


**1**  
A113

**FLOOR PLAN - LEVEL 3**  
SCALE: 1/8" = 1'-0"

**DRAFT**





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Carter Lake, Iowa

IHG LOCATION NO. 17426/OMAXS

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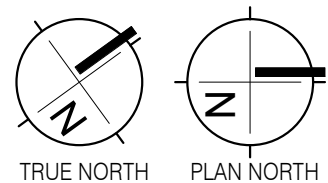
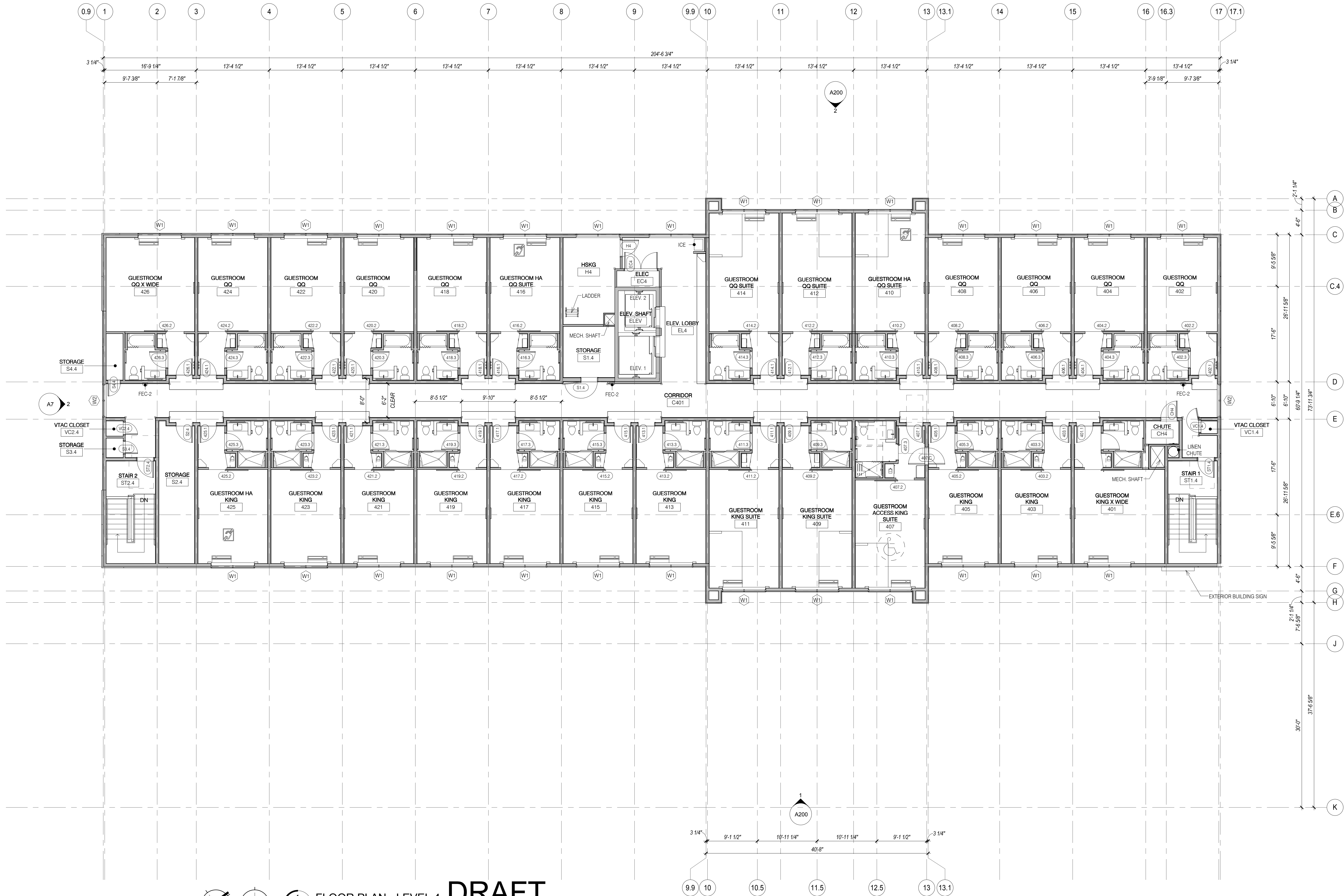
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FLOOR PLAN -  
LEVEL 4

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FLOOR PLAN - LEVEL 4  
SCALE: 1/8" = 1'-0"

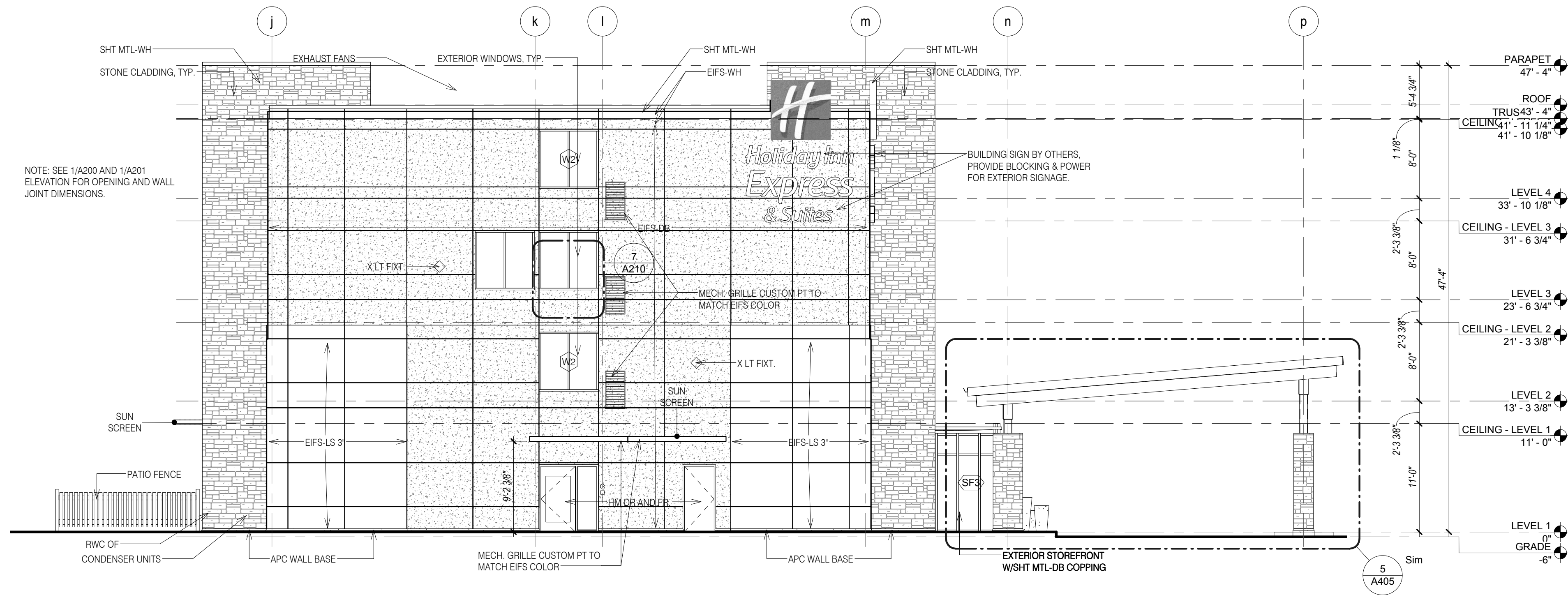
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Architectural elevation drawing of a building facade. The drawing is oriented horizontally with grid lines numbered 1.77 to 0.9 at the top and 16.3 to 1 at the bottom. The facade features a central section with a stone masonry finish and a large glass entrance area. The drawing includes various annotations for materials and levels:

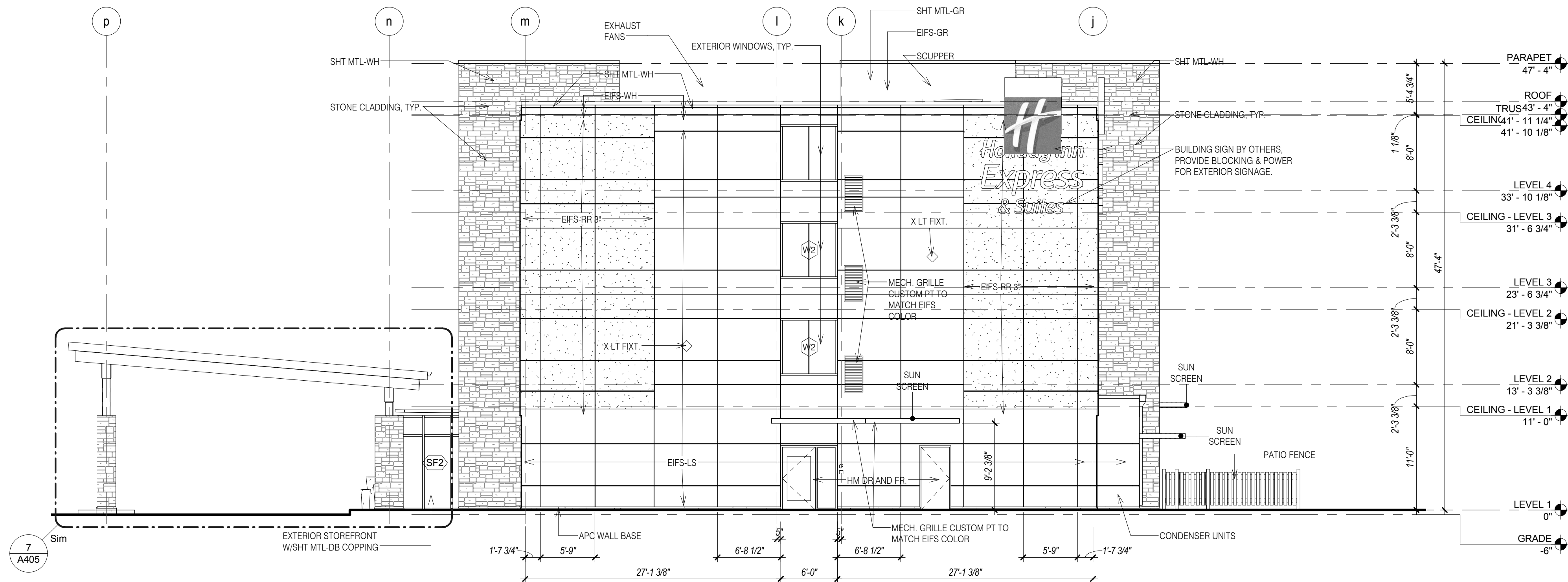
- EIFS - WH**: Exterior Insulation Finish System - White finish.
- EIFS - DB**: Exterior Insulation Finish System - Dark finish.
- EIFS - LS**: Exterior Insulation Finish System - Light finish.
- EIFS - RR**: Exterior Insulation Finish System - Red finish.
- EIFS - LS 3"**: Exterior Insulation Finish System - Light finish, 3 inches thick.
- WFS - WH**: Water-Resistive Finish - White finish.
- SUNSCREEN**: Sunscreening device.
- LEVEL 4**: 33' - 10 1/8" CEILING - LEVEL 3 31' - 6 3/4"
- LEVEL 3**: 23' - 6 3/4" CEILING - LEVEL 2 21' - 3 3/8"
- LEVEL 2**: 13' - 3 3/8" CEILING - LEVEL 1 11' - 0"
- LEVEL 1**: 11' - 0" CEILING - LEVEL 0 0' - 0"
- LEVEL 0**: 0' - 0" CEILING - LEVEL -1 0' - 0"
- LEVEL -1**: 0' - 0" CEILING - LEVEL -2 0' - 0"
- LEVEL -2**: 0' - 0" CEILING - LEVEL -3 0' - 0"
- LEVEL -3**: 0' - 0" CEILING - LEVEL -4 0' - 0"
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-





2 EXTERIOR ELEVATION, WEST  
1/8" = 1'-0"

DRAFT



1 EXTERIOR ELEVATION, EAST  
1/8" = 1'-0"

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REVISIONS

**EXTERIOR  
ELEVATIONS**

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A201



A. GENERAL

1. These general notes apply except where specifically overridden by notes on drawings and/or details.
2. Construction shall conform to the International Building Code (IBC), 2009 Edition.
3. Verify existing feature and conditions (dimensions, elevations, etc.) upon which these drawings rely.
4. Details are typical. For conditions not clearly understood, submit sketches and/or requests for information to the Engineer for resolution.
5. Refer to other disciplines' drawings and coordinate information related to those other disciplines' systems, for items such as:
- a. Finish floor elevations, floor depressions, slopes, drains, curbs, pads, embedded items, openings, etc.
  - b. Size and location of all non load-bearing partitions on all door and window openings.
  - c. Stair framing, hanger details.
  - d. Dimensions not shown on structural drawings.
  - e. Waterproofing and waterstops.
  - f. Pipe runs, sleeves, hangers, trenches, wall, roof, and floor openings, etc. not shown or noted.
  - g. Electrical conduit runs, boxes, outlets, etc. in walls and slabs.
  - h. Anchorage and bracing for mechanical, electrical, and plumbing equipment.
  - i. Size and location of equipment anchors and bases.
6. Members required to support equipment from (or attach it to) the structure shall be designed and provided by the contractor supplying the equipment.
7. Provide and maintain temporary bracing, shoring, guying, or other temporary support during construction to assure correct and accurate structure geometry, and to avoid temporary overstresses.
8. Walls shall be adequately braced during construction until wall design strength has been attained and all permanent supports are in place.
9. Unless specifically approved by the Engineer in writing, backfill shall not be against walls until wall design strength has been attained and permanent supports are in place.
10. Construction loads shall not be placed on new concrete construction, including concrete fill on deck, for at least 7 days after concrete placement.
11. Do not use dimensions scaled from the structural drawings.

B. DESIGN DATA

1. Structural design criteria based on the IBC, 2006 edition complemented by ASCE 7-05.
2. Design Dead Loads
- |                           |        |
|---------------------------|--------|
| Typical Roof Framing Area | 20 psf |
| Floor                     | 25 psf |
3. Design Live Loads
- |                    |         |
|--------------------|---------|
| Roof Live Load     | 20 psf  |
| Floor Live Load    | 40 psf  |
| Corridor Live Load | 80 psf  |
| Stair Live Load    | 100 psf |
4. Design Snow Loads.
- |                                    |                           |
|------------------------------------|---------------------------|
| Ground Snow Load, P(g)             | 30 psf                    |
| Flat & Sloped Roof Snow Load, P(f) | 26 psf (Inclusive of RoS) |
| Snow Exposure Factor, Ce           | 1.0                       |
| Snow Load Importance Factor, I     | 1.0                       |
| Thermal Factor, Ct                 | 1.0                       |
- Drifting has been considered on parapets, roof projections & lower roofs.
5. Wind Design:
- |                         |   |
|-------------------------|---|
| Basic Wind Speed        | 90 mph  |
| Wind Importance Factor  | 1.0   |
| Wind Exposure           | C   |
| Components and Cladding | Interior +/- 17.8 psf    Corners +/- 20.2 psf |
6. Seismic Design:
- |                                      |   |
|--------------------------------------|---|
| Occupancy Category                   | II  |
| Spectral Response Coefficients       | $S_S = 0.18g$ $S_1 = 0.05g$                             |
| Seismic Design Category              | D   |
| Site Class                           | 1.0   |
| Seismic Importance Factor            | 1.0   |
| Basic Seismic Force Resisting System | Light Framed Walls Sheathed with Wood Structural Panels |
|                                      | $R = 6.5$   |
| Design Base Shear                    | $xk$  |
| Analysis Procedure                   | Equivalent Lateral Force                                |
7. Soil Information:
- |                                 |          |
|---------------------------------|----------|
| Allowable Soil Bearing Pressure | 3000 psf |
|---------------------------------|----------|

SPECIAL INSPECTION

- Special inspection shall be conducted in accordance with Chapter 17 of the 2006 edition of the International Building Code for the following structural elements:
1. Cast-in Place Concrete
- |                      |                       |
|----------------------|-----------------------|
| a. Concrete Sampling | Continuous Inspection |
| b. Reinforcing       | Periodic Inspection   |
2. Reinforced Concrete Masonry
- |                |                       |
|----------------|-----------------------|
| a. Reinforcing | Periodic Inspection   |
| b. Grouting    | Continuous Inspection |

C. FOUNDATIONS

1. Foundation design is based on an assumed allowable soil bearing capacity provided by a remedial soil improvement modifications using rock aggregate piers. See Design Data for bearing pressure used.
2. Geotechnical Engineer shall verify adequacy of all subgrades, fills, and backfills before placement of fills, footings, slabs, or other construction dependent upon them.
3. Refer to architectural specifications for compacted (engineered) fill and moisture vapor barrier below slab-on-grade floors.
4. Contractor is responsible for appropriate, adequate shoring and bracing of foundation excavations.
5. Foundations cast against earth require the following precautions: Slope sides of excavations as approved by the Geotechnical Engineer and be responsible for clean-up of sloughed materials before and during placement of concrete. Required concrete protection for reinforcement cover may be compromised. See "Reinforcement" notes for appropriate cover.
6. Over-excavated footings shall be backfilled with lean ( $f'c = 2000$  psi) concrete or as directed by the Geotechnical Engineer.

D. CONCRETE

1. Concrete shall be mixed and placed in accordance with ACI 318. Use mixes with maximum aggregate size appropriate for form spaces and reinforcement placement required in this project.
2. Concrete proportions, including water-cement ratio, shall be established in accordance with section 5.3 of ACI 318 on the basis of field experience and trial mixtures with materials proposed for use in this project. For each mix specified, submit documentation of concrete proportions, reviewed and approved by the Owner's testing agency before submittal to the Architect at least two weeks before concrete is to be placed. The contractor is responsible for achieving the specified or required strengths.
3. Specified concrete types and 28 day minimum concrete compressive strengths according to the following design mix information:
- a. Grade beams/Figs. 3000 psi, normal weight  
Sand/Gravel mix with 3/4" course aggregate size  
Maximum Water/Cement Ratio of .53  
Fly ash not to exceed 25% of cement content by weight  
Slump Limit of 4" prior to adding a high range water reducing admixture or plasticizing admixture, ±1".  
Air content 6% ± 1% at point of delivery.
  - b. Walls 4000 psi, normal weight  
Limestone mix with 3/4" course aggregate size  
Maximum Water/Cement Ratio of .48  
Fly ash not to exceed 15% of cement content by weight  
Slump Limit of 4" prior to adding a high range water reducing admixture or plasticizing admixture, ±1".  
Air content 6% ± 1% at point of delivery.
  - c. Typical Slabs 4000 psi, normal weight  
Limestone mix with 3/4" course aggregate size  
Maximum Water/Cement Ratio of .48  
Fly ash not to exceed 15% of cement content by weight  
Slump Limit of 4" prior to adding a high range water reducing admixture or plasticizing admixture, ±1".
4. Scheduling of work may require specific concrete design strengths in less than 28 days. Submit requirements and backup data.
5. Submit to Architect prior to construction, location plan for all proposed joints not indicated on the drawings.
6. All concrete shall be reinforced unless specifically noted "not reinforced".
7. Outside diameter of conduit or pipe to be embedded in concrete slabs shall not exceed 30% of minimum concrete thickness unless specifically detailed otherwise.
8. Stacking of conduits in slab is prohibited.
9. Projecting corners of beams, columns, walls, etc. shall be formed with a 3/4 inch chamfer, except where otherwise noted on the drawings.
10. Vapor Retarder shall be Class A, 10 MIL installed in accordance with manufacturer instructions. Provide tape, sealants and all accessories as required for complete installation. Provide Stego 10 MIL, Raven Vaporblock 10 or approved Equal
11. Perimeter insulation shall be R-5 per inch in configuration indicated on details and shall be continuous. Product shall be Owens Corning Foamular 250 Class IV, or approved equal.

E. STEEL REINFORCEMENT

1. Reinforcing steel bars shall conform to ASTM A615, Grade 60 deformed bars unless noted otherwise.
2. Reinforcing steel bars that are to be welded shall conform to ASTM A706, Grade 60.
3. Welded wire fabric shall conform to ASTM A185.
4. Reinforcement and embedments shall be accurately positioned and secured against displacement prior to placing concrete. If construction traffic will be allowed on reinforcement, provide sufficient support to prevent damage or displacement.
5. Welding (including tack welding) of reinforcement bars, one to another or to other steel members, is prohibited except where detailed or approved in writing by the Architect/Engineer.
6. All reinforcement crossing construction joints shall be continuous, or shall be made effectively continuous by the use of fully developed lapped splices, dowels, (with lapped splices) or approved couplers.
7. Provide continuous reinforcement wherever possible; splice only as shown or approved; stagger splices.
8. Reinforcement shall be detailed and placed to achieve the minimum concrete so it is as near concrete surfaces as possible, within specified tolerances, while protection specified in ACI 318. The intent is to have the reinforcement placed maintaining this minimum protection.
9. Detail reinforcement in accordance with ACI Standard 315, "Manual of Standard Practice for Detailing Reinforced Concrete Structures".
10. Reinforce all floor fills as specified by the Engineer with 6x6-W14xW14 welded wire fabric at mid-depth except where otherwise noted or detailed.
11. Unless otherwise noted, principal reinforcement shall have the following protection:
- |   |                            |
|---|----------------------------|
| a. Formed surfaces in contact with soil     | 3 in.                      |
| b. Surfaces not formed in contact with soil | 2 in.                      |
| c. Slabs                                    | 3/4 in. (top) 1 in. (bot.) |
| d. Beams, columns                           | 2 in.                      |
| e. Walls (interior surface only)            | 1 in.                      |
| f. Ties, stirrups                           | 1 1/2 in.                  |

Unless otherwise noted or detailed, all reinforcing bar splices shall be in accordance with the table shown below.

bar size	Concrete splices		Masonry Splices	
	Non top bar	Top bar		
#3	14	18	(in.)	
#4	19	24		(in.)
#5	23	30		
#6	30	40		
#7	42	54		

F. STRUCTURAL STEEL

1. Structural steel shall be supplied, detailed, fabricated, and erected in accordance with A.I.S.C. Specifications, latest edition.
2. Member/element specification.
- |                                   |                                 |
|-----------------------------------|---------------------------------|
| a. WF Beams and Girders           | ASTM A992, Grade 50             |
| b. Steel Tube                     | ASTM A500, Grade B, Fy = 46 ksi |
| c. Angles, Channels, Misc. Shapes | ASTM A36                        |
| d. Column Base Plates             | ASTM A36                        |
- Steel penetration reinforcement match grade of material penetrated
- Connections
- |                       |                             |
|-----------------------|-----------------------------|
| a. Anchor Bolts       | ASTM F1554 Gr. 36ksi, 55ksi |
| b. Welding Electrodes | E70XX                       |
3. Welding shall conform to A.W.S. specifications and shall be performed by certified welders.
4. Butt welds shall be complete penetration welds except where specified as partial penetration. All fillet welds shown are minimum required by stress.
5. Increase welds to A.I.S.C. minimum sizes based on thickness of material joined.



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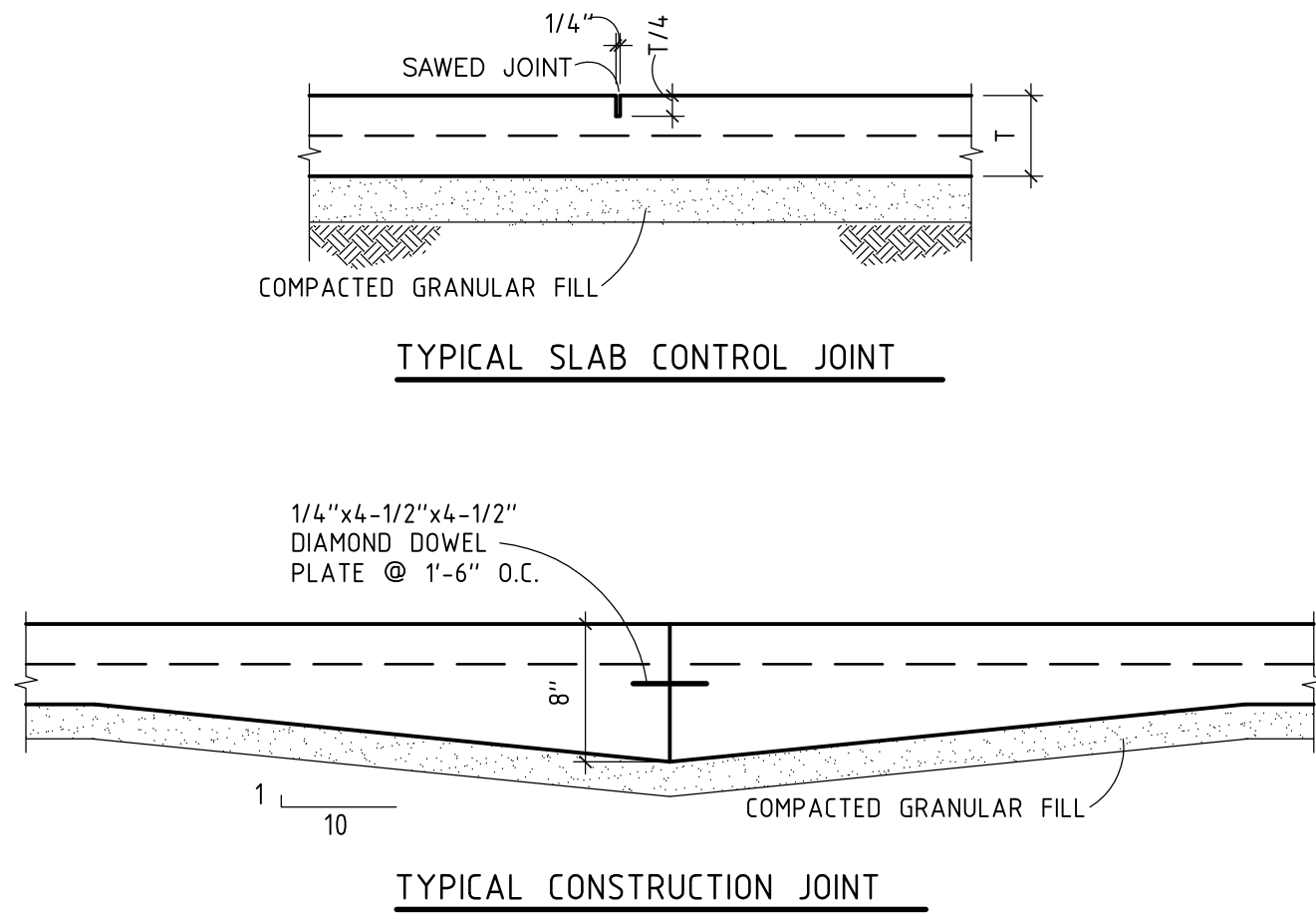
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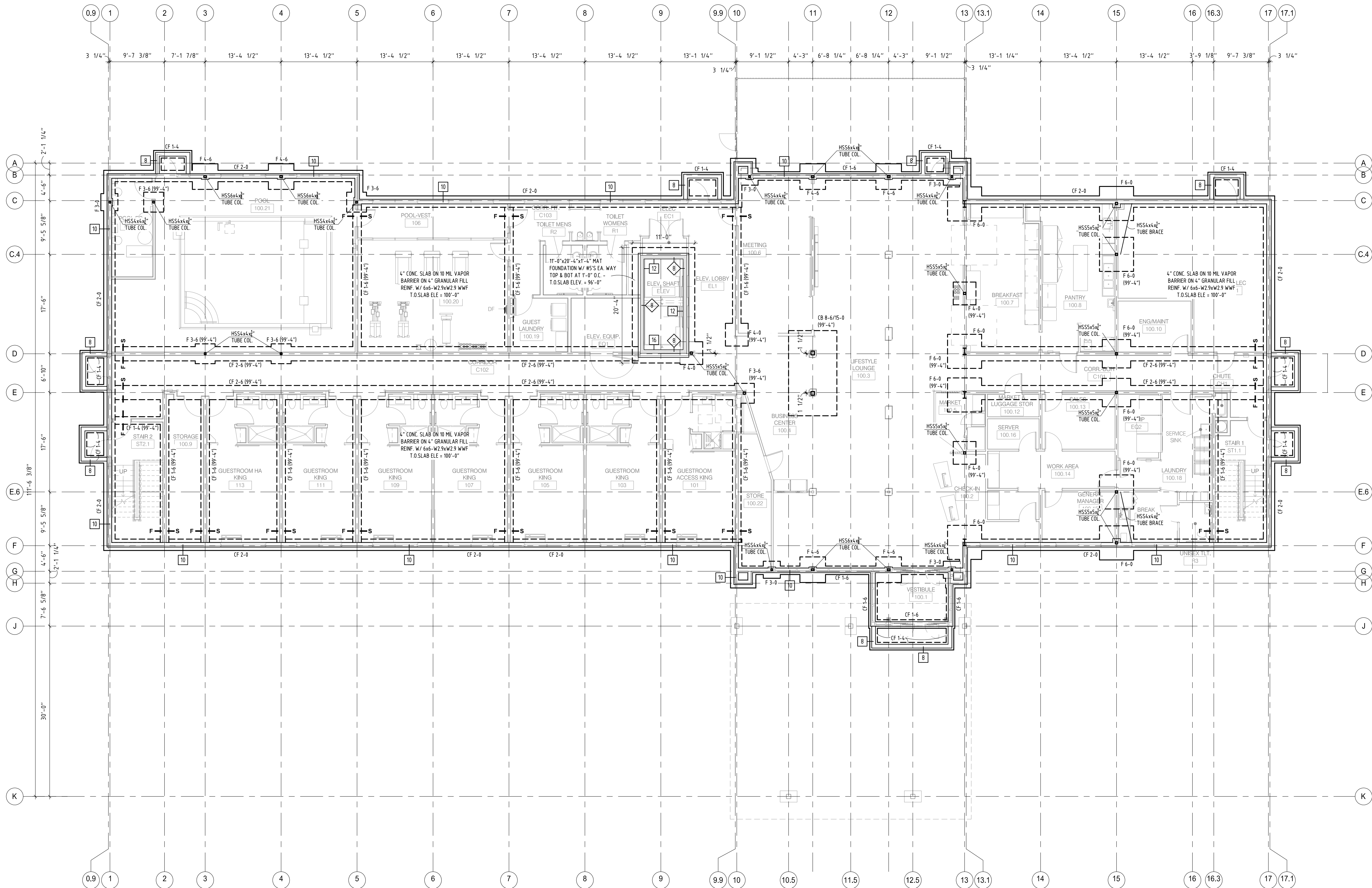
Structural  
Notes

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**VECTOR**  
STRUCTURAL DESIGN  
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**BID PACKAGE 1:  
CIVIL AND  
FOUNDATION WORK**

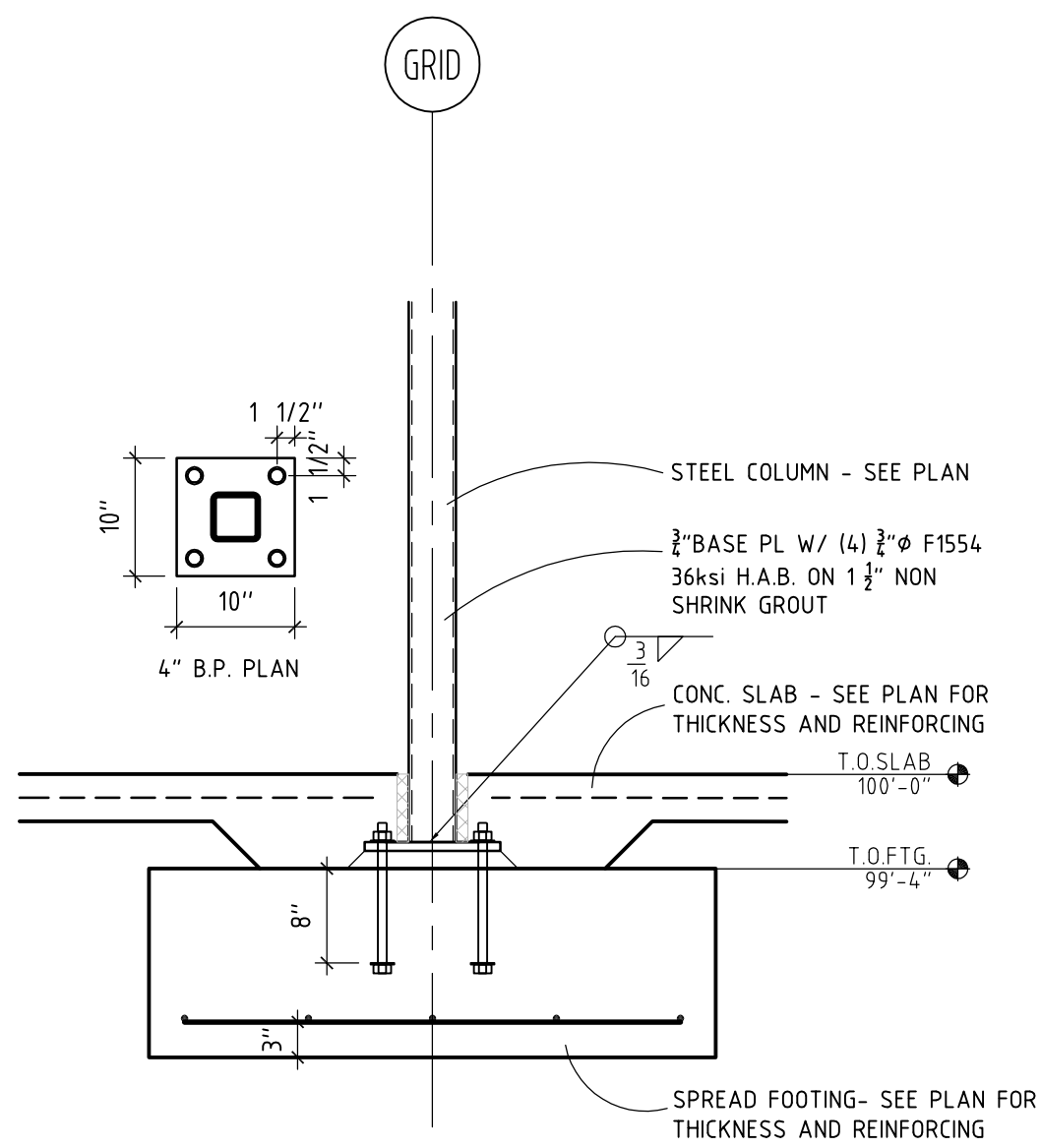
04/08/15

REVISIONS

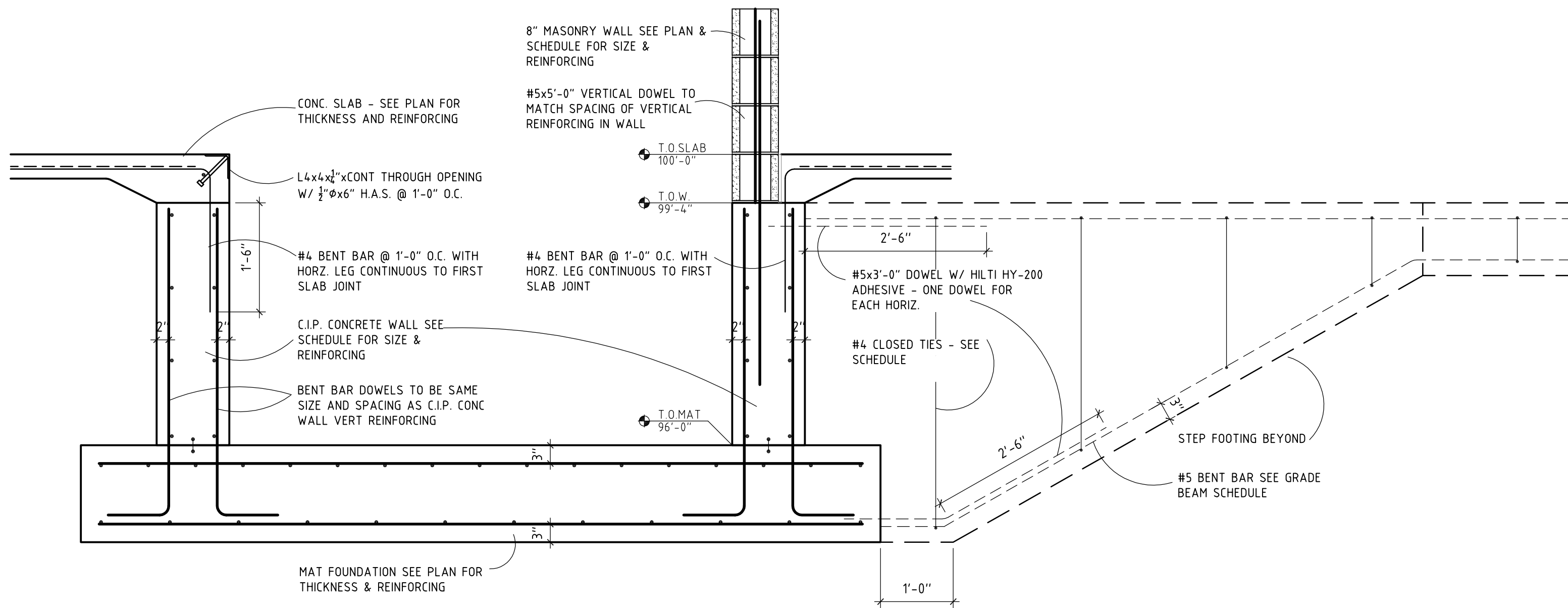
**Structural  
Details**

Drawn By: JLS Checked By: JLS  
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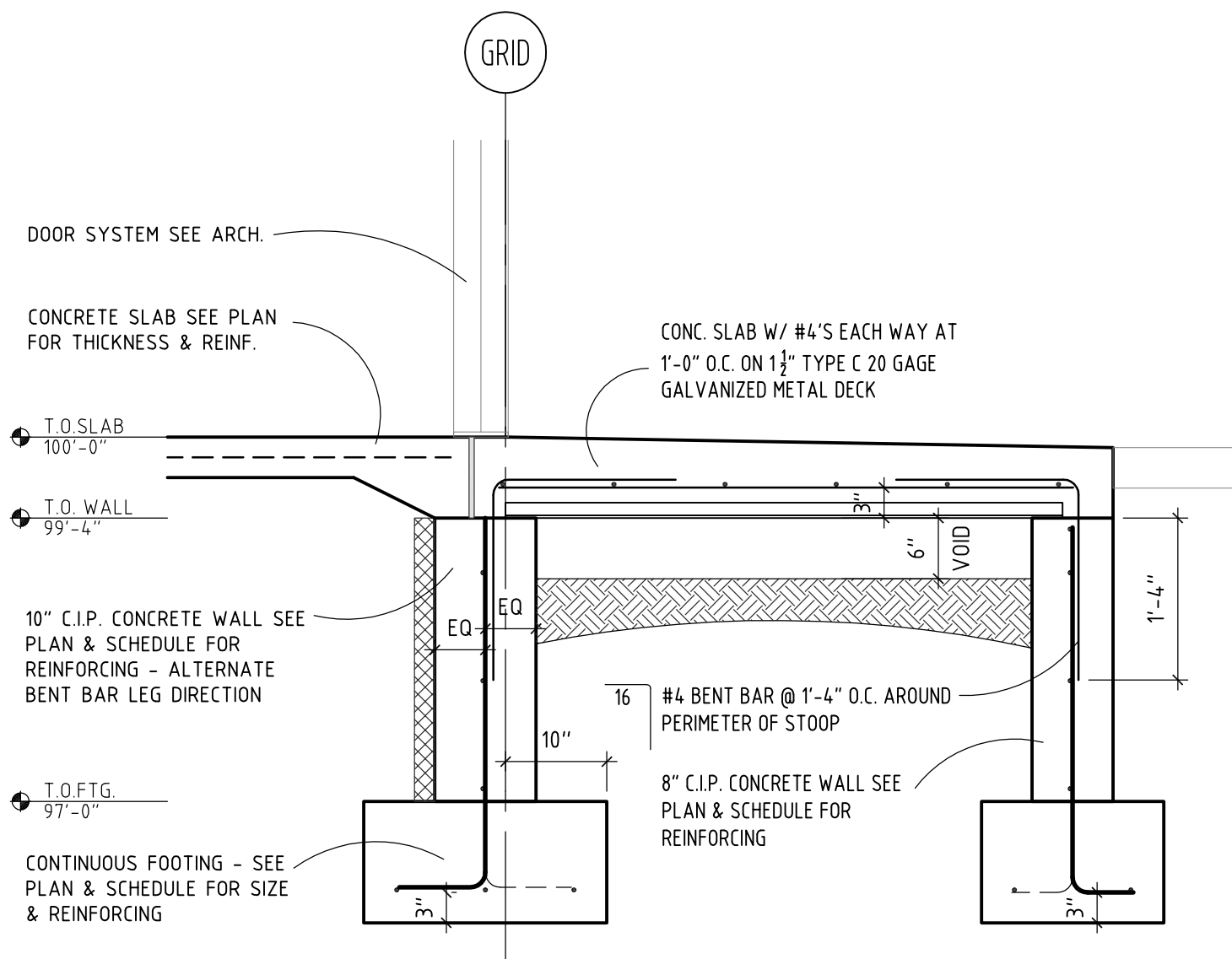
**S301**



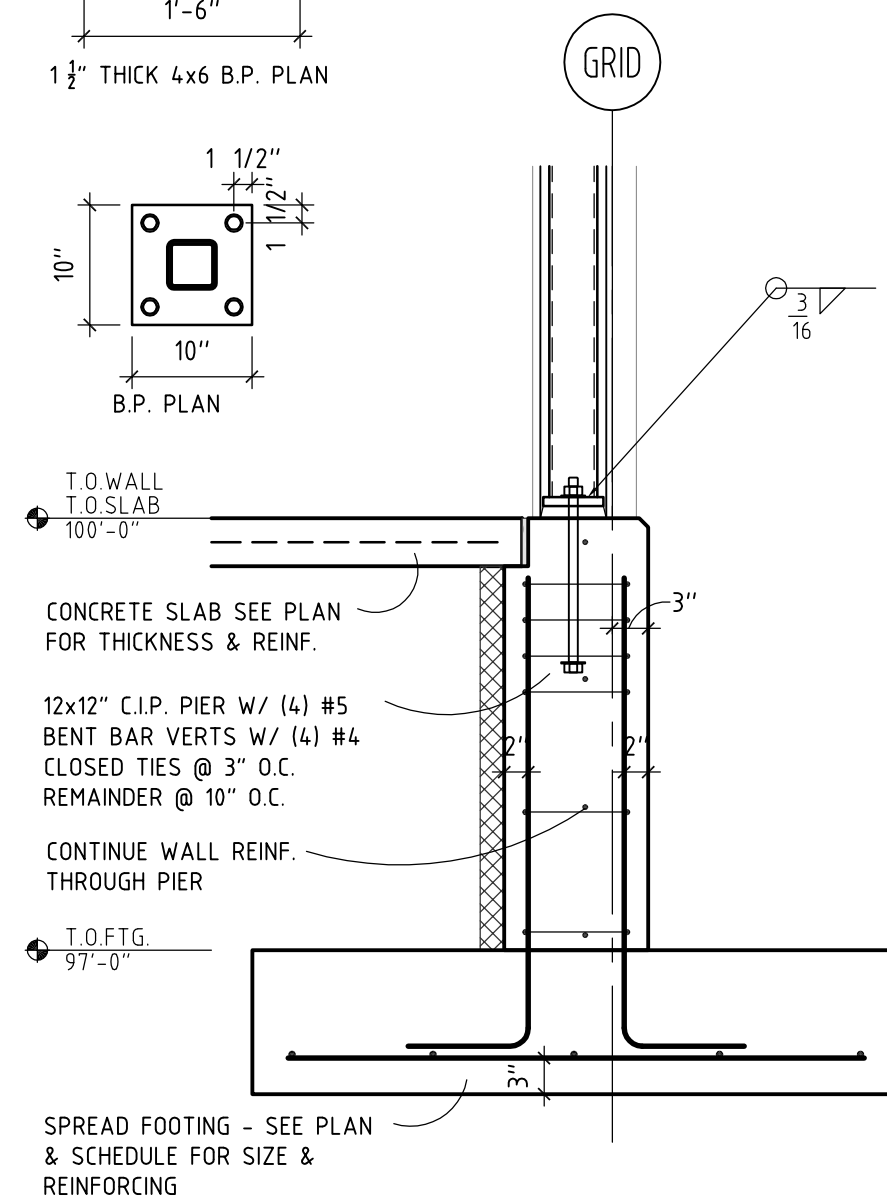
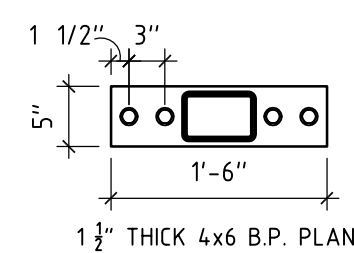
**J** INTERIOR COLUMN FOOTING SECTION  
SCALE: 3/4" = 1' - 0"



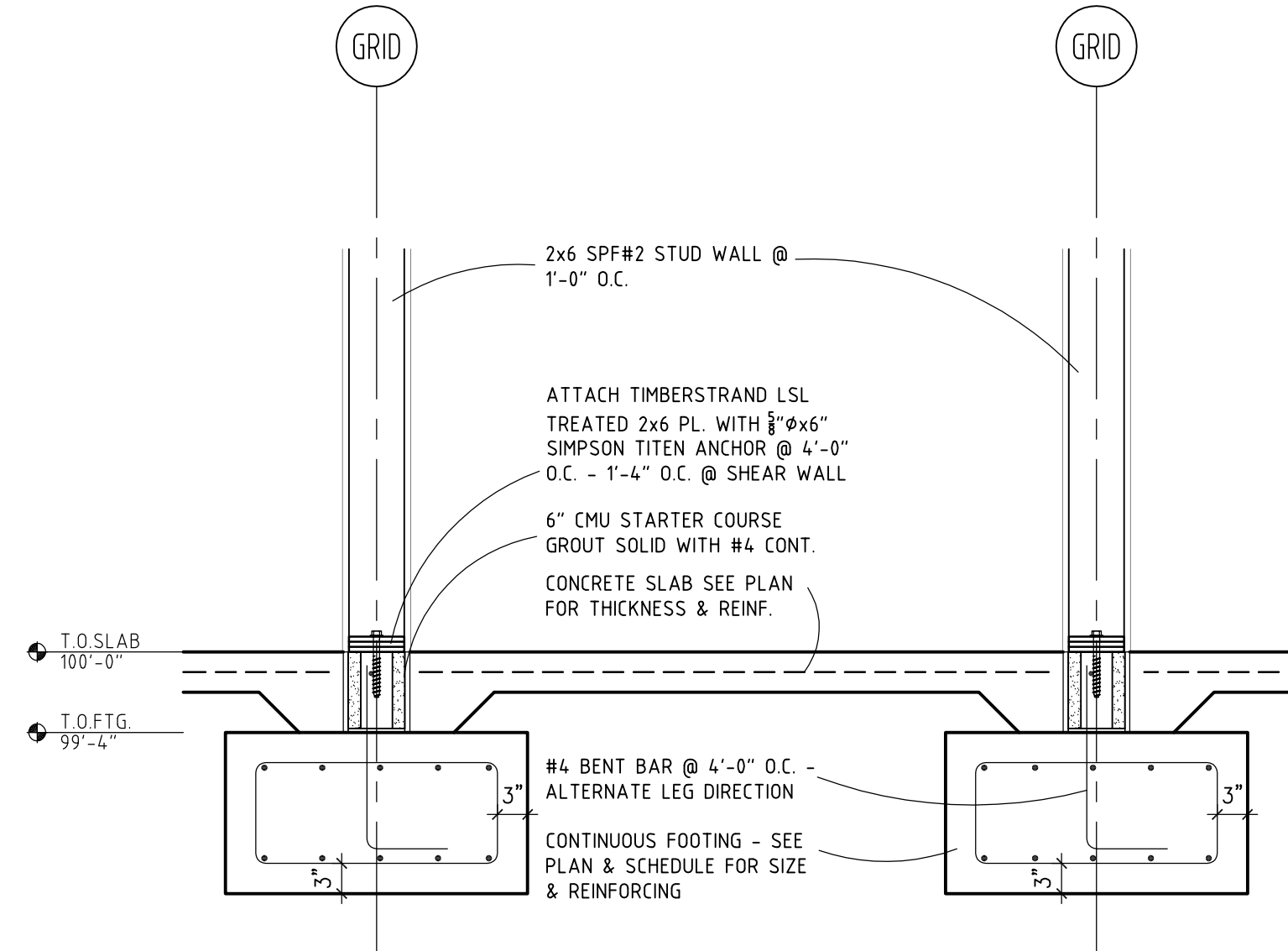
**E** SECTION THROUGH ELEVATOR PIT  
SCALE: 3/4" = 1' - 0"



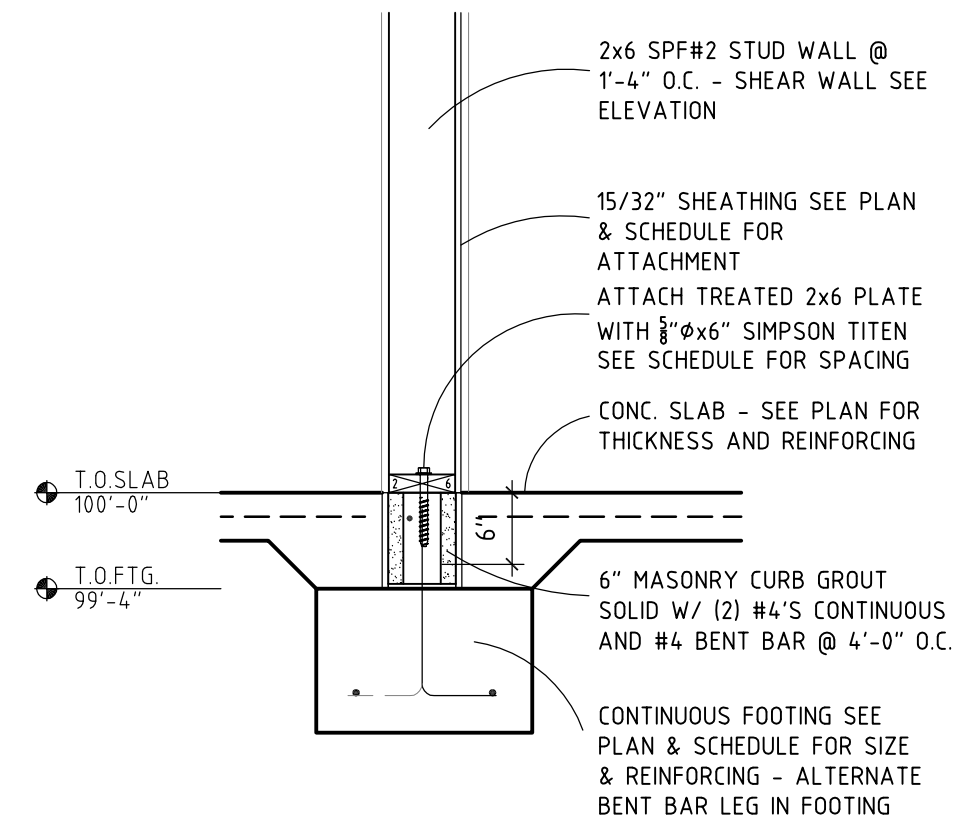
**B** FOOTING SECTION @ STRUCTURAL STOOP  
SCALE: 3/4" = 1' - 0"



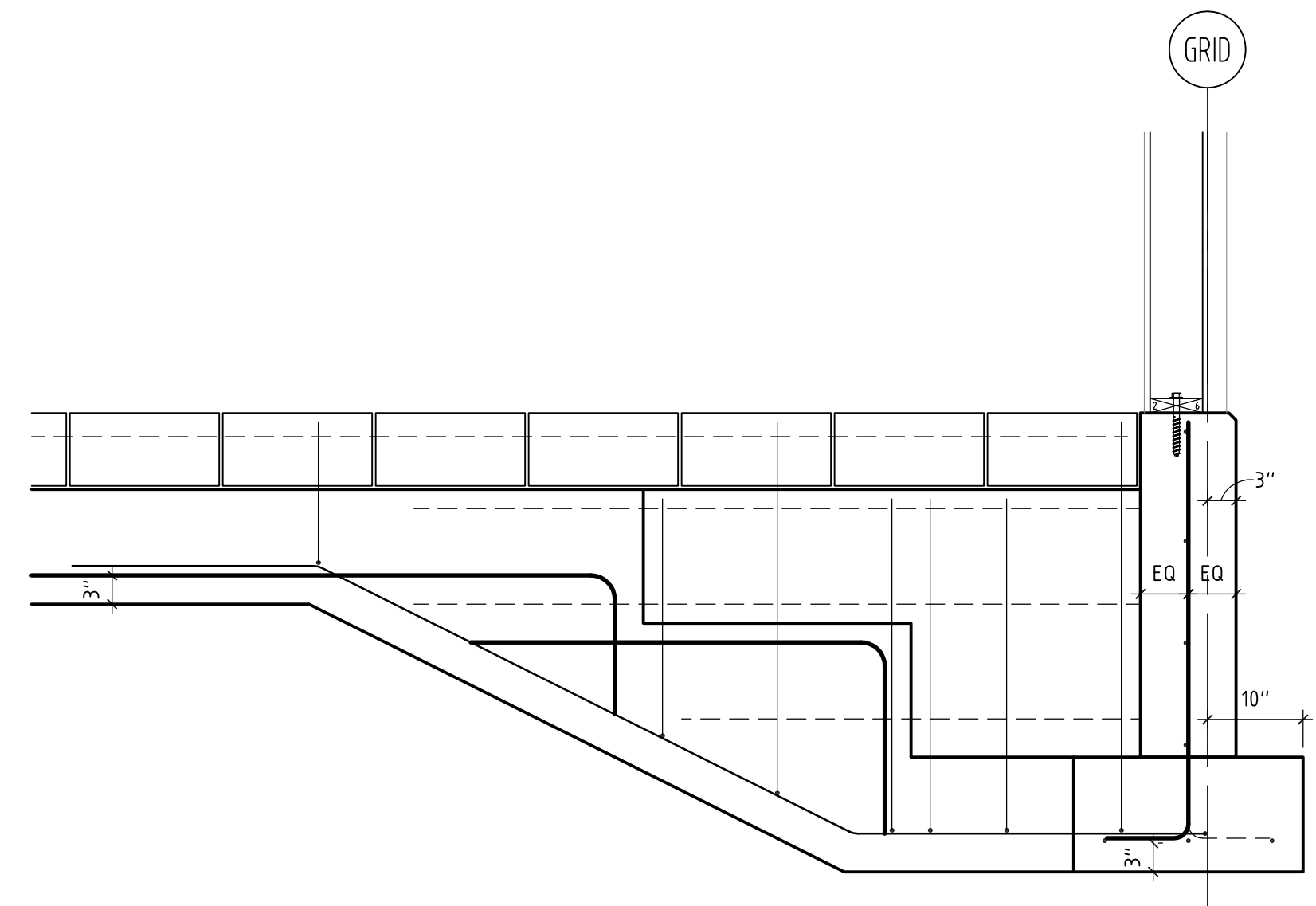
**C** PERIMETER PILASTER FOOTING SECTION  
SCALE: 3/4" = 1' - 0"



**F** CORRIDOR FOOTING SECTION  
SCALE: 3/4" = 1' - 0"



**G** SHEAR WALL FOOTING SECTION  
SCALE: 3/4" = 1' - 0"



**D** STEPPED FOOTING AT EXTERIOR WALL  
SCALE: 3/4" = 1' - 0"